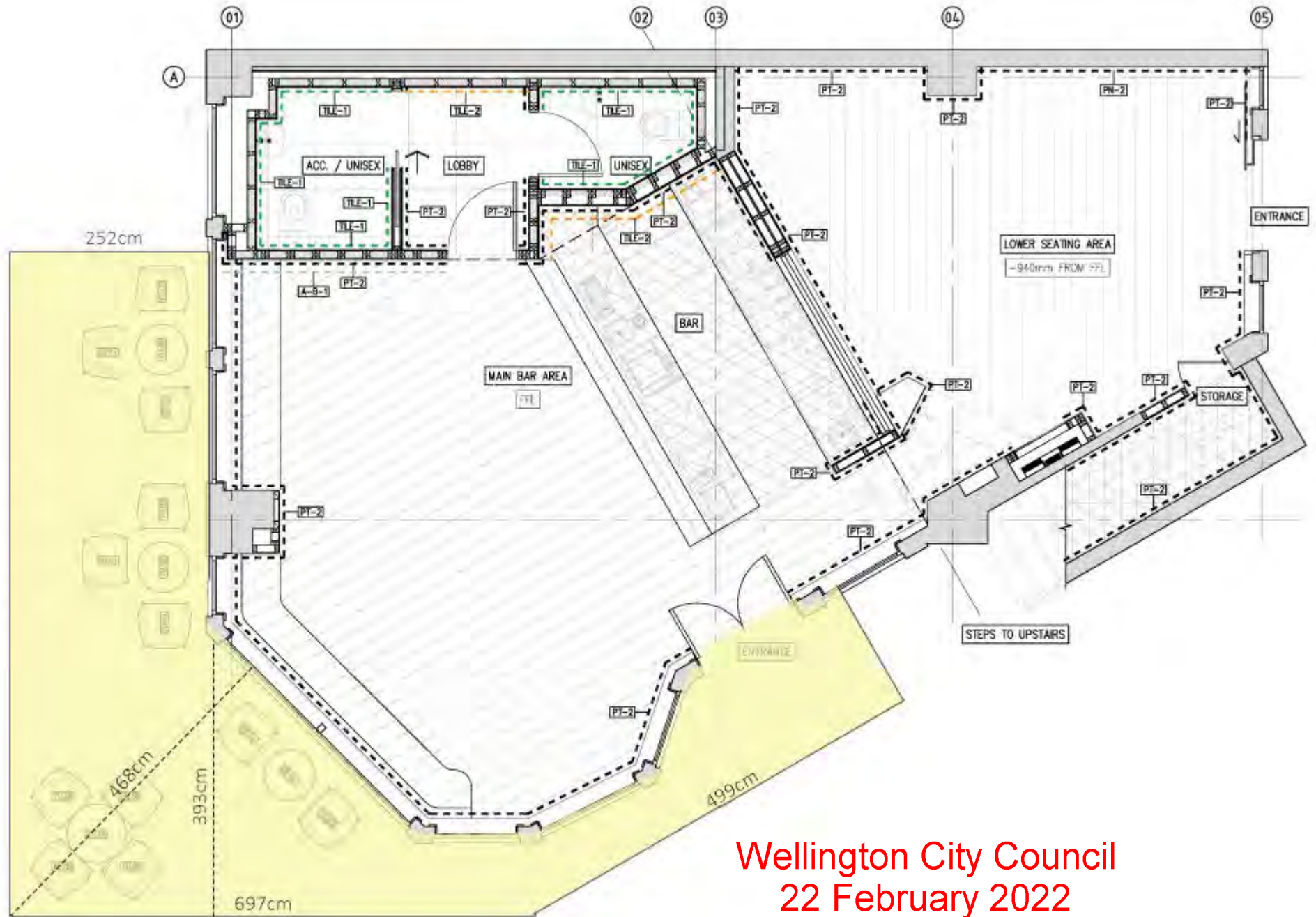


ROAD



Wellington City Council
22 February 2022

KUIKUI GIN BAR

TENANCY 6, 118-120 VICTORIA STREET, WELLINGTON CENTRAL

BUILDING CONSENT ISSUE

JANUARY 2021

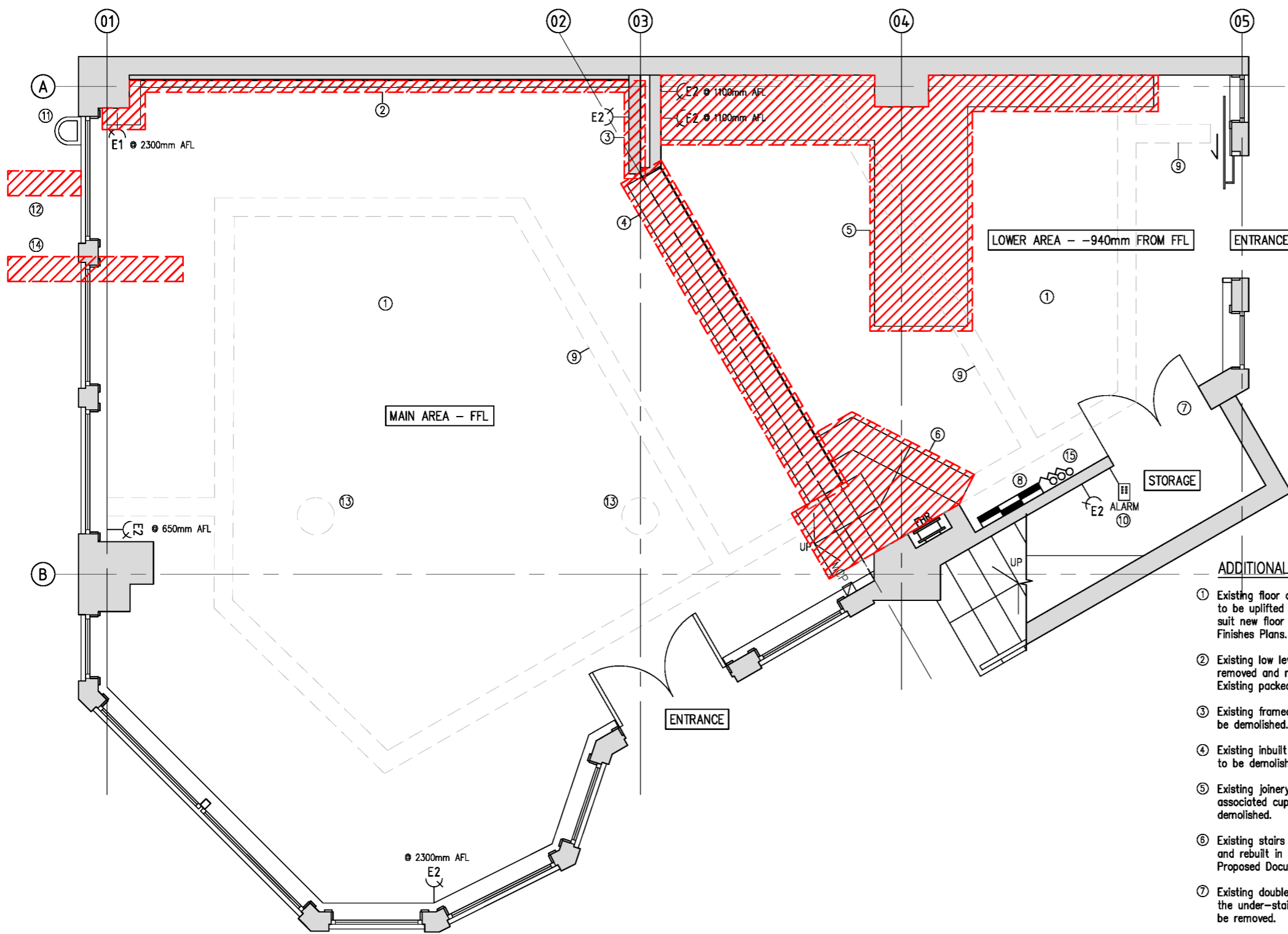
Drawing Schedule

Sheet	Drawing	Rev
A-100	Existing Ground Floor Plan	0
A-101	Existing Mezzanine Floor Plan	0
A-102	Proposed Ground Floor General Arrangement Plan	0
A-103	Proposed Mezzanine General Arrangement Plan	0
A-104	Proposed Ground Floor Plan	0
A-105	Proposed Mezzanine Floor Plan	0
A-106	Proposed Ground Finishes Plan	0
A-107	Proposed Mezzanine Finishes Plan	0
A-300	Proposed Sections – Sheet One	0
A-301	Proposed Sections – Sheet Two	0
A-302	Proposed Sections – Sheet Three	0
A-303	Proposed Sections – Sheet Four	0
A-400	Proposed Ground Reflected Ceiling Plan	0
A-401	Proposed Mezzanine Reflected Ceiling Plan	0
A-500	Proposed Cropped Staircase Documentation – Sheet One	0
A-501	Proposed Front Bar Documentation – Sheet One	0
A-502	Proposed Back Bar Documentation – Sheet One	0
A-600	Proposed Detail Documentations – Sheet One	0
A-800	Proposed Plumbing Overlays	0
A-801	Proposed Plumbing Schematics	0

LEGAL DESCRIPTION:
LOT 2,
DP 63617



01 SITE LOCATION PLAN
NTS 



01 EXISTING GROUND FLOOR PLAN 1:50

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

DEMOLITION NOTES

Existing wall to be demolished. Make good to remaining structure where required to suit proposed Finishes Plans.

Terminate all redundant services to local authority requirements.

For specific items please refer to the adjacent additional notes.

ADDITIONAL NOTES

- ① Existing floor coverings in tenancy are to be uplifted and floor prepared to suit new floor coverings as per Finishes Plans.
- ② Existing low level waste pipes to be removed and made good as required. Existing packed out above to remain.
- ③ Existing framed out services void is to be demolished.
- ④ Existing inbuilt plywood joinery unit is to be demolished.
- ⑤ Existing joinery bench unit and associated cupboards beneath is to be demolished.
- ⑥ Existing stairs are to be demolished and rebuilt in accordance with the Proposed Documentation.
- ⑦ Existing double door joinery doors to the under-stair storage area are to be removed.
- ⑧ Existing Electrical Board is to remain. Electrical Contractor is to undertake assessment of the existing board and it's suitability for the load imposed by the Proposed Documentation.
- ⑨ Existing rod suspended cable trays with inbuilt lighting etc are to be removed from the ceilings. Services are to be terminated accordingly. Contractor to allow to salvage the trays and suspension rods for re-use at high level in accordance with the Proposed Documentation.
- ⑩ Existing alarm system is to be relocated to in accordance with the Proposed Documentation.
- ⑪ Existing gully trap is to be adjusted as required in accordance with the Proposed Documentation.
- ⑫ Existing exterior surfaces are to be uplifted and reinstated as required to suit the plumbing requirements outlined within the Proposed Documentation (shown indicatively).
- ⑬ Existing suspended high bay lights and any other suspended ceiling services are to be removed to suit the Proposed Documentation.
- ⑭ Existing slab to be cut open to enable the installation of the new waste pipe from the Accessible Toilet. Contractor to confirm set out of outlet on site prior to cutting. Slab to be made good in accordance with Proposed Documentation.
- ⑮ Existing lighting control panel to be removed in conjunction with the removal of all the existing light fittings.

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22/01/21

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
EXISTING GROUND FLOOR PLAN

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50 @A3
Drawing No: Rev:
A-100 0

Wellington City Council
22 February 2022

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21

Project
KUIKUI GIN BAR
 TENANCY 6,
 118 VICTORIA ST,
 WELLINGTON.

Title:
EXISTING MEZZANINE FLOOR PLAN

Folder: 202071
 Design:
 Drawn:
 Date: JANUARY 2021
 Scale: 1:50 ©A3
 Drawing No: Rev:

A-101 0

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.


All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

DEMOLITION NOTES

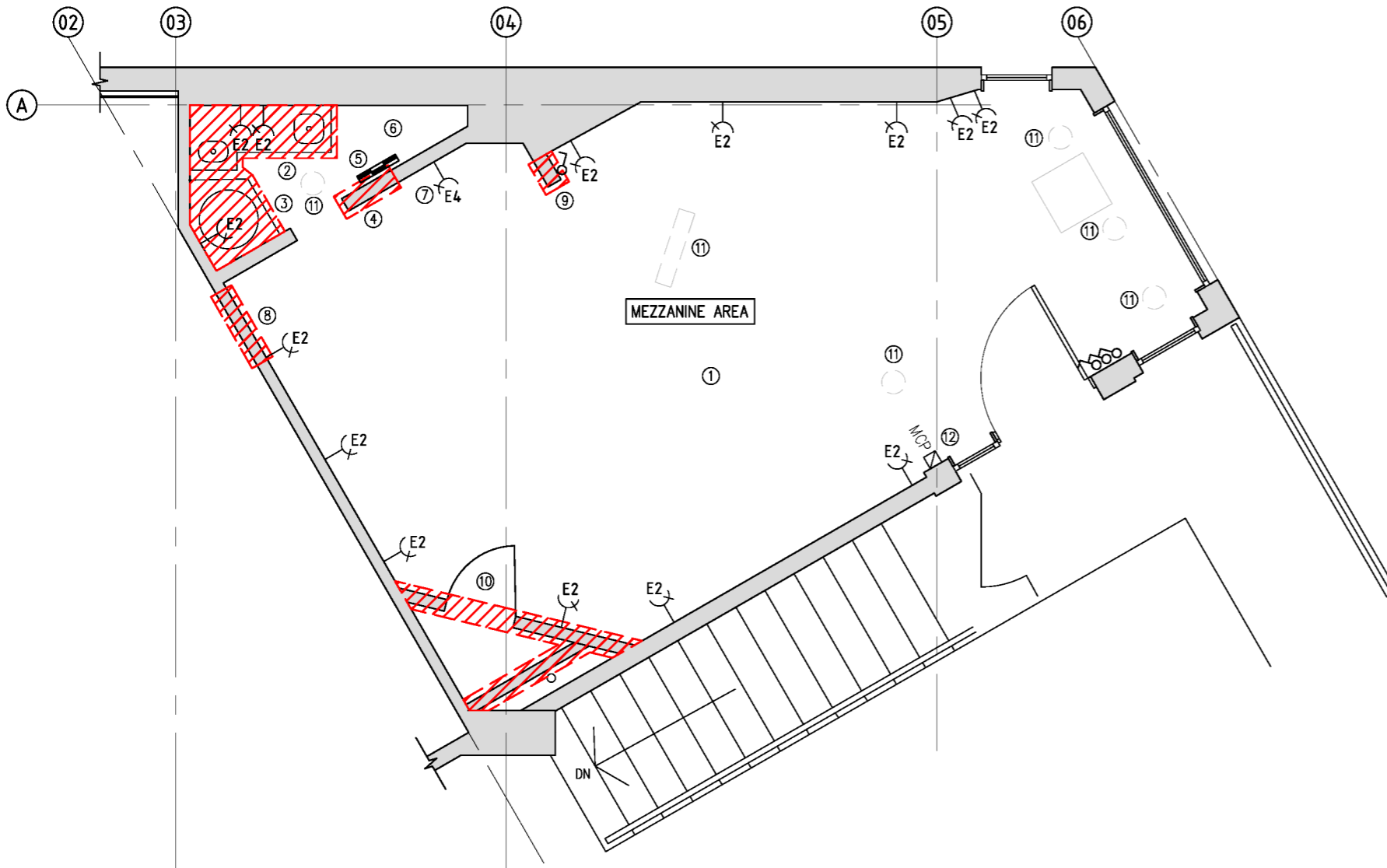
 Existing wall to be demolished. Make good to remaining structure where required to suit proposed Finishes Plans.

Terminate all redundant services to local authority requirements.

For specific items please refer to the adjacent additional notes.

ADDITIONAL NOTES

- ① Existing floor coverings in tenancy are to be uplifted and floor prepared to suit new floor coverings as per Finishes Plans.
- ② Existing kitchenette, above bench shelving and associated plumbing wastes are to be terminated and demolished.
- ③ Existing hot water cylinder, tray and stand is to be demolished. Plumbing wastes and supply to remain and be adjusted to suit Proposed Documentation.
- ④ Portion of existing wall to be removed and opened up to suit Proposed Documentation. To be made good as required.
- ⑤ Existing small electrical board. Electrical Contractor is to undertake assessment of the board and outline the viability of merging the electrical load with the downstairs board. Refer to Proposed Documentation.
- ⑥ Existing joinery shelving in small utilities area is to be demolished.
- ⑦ Existing exposed wastes and quad power outlet to be removed, made good accordingly.
- ⑧ Existing wall to have opening made to suit the Proposed Documentation.
- ⑨ Existing nib wall to be demolished.
- ⑩ Existing framed out services void is to be demolished. Contractor to take care with existing sprinkler and hydraulic pipe work within. Refer Proposed Documentation.
- ⑪ Existing lights and any other unrequired ceiling services / equipment are to be removed to suit the Proposed Documentation. Contractor is to allow to make good the ceiling as required and decorate in accordance with the Proposed Documentation.
- ⑫ Existing Manual Call Point (MCP) to be relocated to suit Proposed Layout.



01 EXISTING MEZZ. FLOOR PLAN
 1:50



Wellington City Council
 22 February 2022

All dimensions to be checked on site before commencing work

Rev #	Description
0	ISSUED FOR BUILDING CONSENT
A	ISSUED FOR BUILDING CONSENT RFI - ACCESSIBLE COUNTER REVISED

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
GROUND
GENERAL ARR.
PLAN**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50 ©A3
Drawing No: Rev:
A-102 A

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

WALL LEGEND

Typically 90x45 H1.2 treated timber framing at 400mm crs for any new partitions. 2/90x45 at 300mm crs for extended walls along front of bathrooms as per the drawings. Top and bottom plates to be fixed into existing structure in accordance with NZ Standards. DPC under bottom plate if directly installed on concrete slab. Additional timber blocking in walls where joinery fixtures are to be mounted. Trims and skirtings are to be as per Detail Documentation and Notes.

Autex Acoustic insulation to be installed into walls around the toilet block. Refer Specification.

All walls to have 13mm Gib Noiseline (dry areas) / Aqualine (wet areas) plasterboard stopped to an F4 Finish. Refer to Finishes Plans for Decorating or any feature panel requirements.

SERVICES LEGEND

Power outlet.
E = existing
N = new
x = number of power outlets.

Data outlet.
E = existing
N = new
x = number of outlets.

Alarm Panel. Refer to SOW Document for Security Requirements.

Electrical Board. To be upgraded based on Electrician assessment of existing board against imposed electrical load.

Any unrequired outlets are to be decommissioned accordingly.

Lighting circuits and associated switching is to be as per the RCPs.

Cameras / Security System to be designed by security sub-contractor. To be coordinated in AFC Documentation. Refer SOW Document for more information.

Technology and any other equipment is to be arranged directly by Client. Contractor to allow to coordinate as required.



FURNITURE / JOINERY LEGEND

- F-BAR** Front Bar Joinery Unit. Refer to Detailed Drawings.
- B-BAR** Back Bar Joinery Unit. Refer to Detailed Drawings.
- PREP.** Preparation Benches. Refer to Detailed Drawings.
- FU.01** Inbuilt upholstered bench seats. Refer to Detailed Drawings.
- FU.02** 600mm dia acrylic laminated 25mm table top on powder coated steel round base. Refer to SOW Document.
- FU.03** Upholstered dining chair 'A' with powder coated legs. Refer to SOW Document.
- FU.04** 1800 x 600 acrylic laminated 25mm table top on powder coated steel leaner substructure. Refer to SOW Document.
- FU.05** Upholstered bar stool 'A' with powder coated legs. Refer to SOW Document.
- FU.06** 1250 x 600 acrylic laminated 25mm table top on powder coated steel leaner substructure. Refer to SOW Document.
- FU.07** Upholstered bar stool 'B' with powder coated legs. Refer to SOW Document.
- FU.08** 900mm dia acrylic laminated 25mm table top on powder coated steel round base. Refer to SOW Document.
- FU.09** Upholstered dining chair 'B' with powder coated legs. Refer to SOW Document.
- FU.11** Staff Workstation and Task Chair. Refer to SOW Document.
- FU.12** Staff Lockers. Refer to SOW Document.

01 PROPOSED GROUND G.A PLAN 1:50

Wellington City Council
22 February 2022

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope of Works Document, Specifications and Consultant's Packages.

WALL LEGEND

Typically 90x45 H1.2 treated timber framing at 400mm crs for any new partitions. 2/90x45 at 300mm crs for extended walls along front of bathrooms as per the drawings. Top and bottom plates to be fixed into existing structure in accordance with NZ Standards. DPC under bottom plate if directly installed on concrete slab. Additional timber blocking in walls where joinery fixtures are to be mounted. Trims and skirtings are to be as per Detail Documentation and Notes.

Autex Acoustic insulation to be installed into walls around the toilet block. Refer Specification.

All walls to have 13mm Gib Noiseline (dry areas) / Aqualine (wet areas) plasterboard stopped to an F4 Finish. Refer to Finishes Plans for Decorating or any feature panel requirements.

SERVICES LEGEND

Power outlet.
 E = existing
 N = new
 x = number of power outlets.

Data outlet.
 E = existing
 N = new
 x = number of outlets.

Alarm Panel. Refer to SOW Document for Security Requirements.

Electrical Board. To be upgraded based on Electrician assessment of existing board against imposed electrical load.

Any unrequired outlets are to be decommissioned accordingly.

Lighting circuits and associated switching is to be as per the RCPs.

Cameras / Security System to be designed by security sub-contractor. To be coordinated in AFC Documentation. Refer SOW Document for more information.

Technology and any other equipment is to be arranged directly by Client. Contractor to allow to coordinate as required.

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21

Project
KUIKUI GIN BAR

TENANCY 6,
 118 VICTORIA ST,
 WELLINGTON.

Title:
**PROPOSED
 MEZZANINE
 GENERAL ARR.
 PLAN**

Folder: 202071

Design:

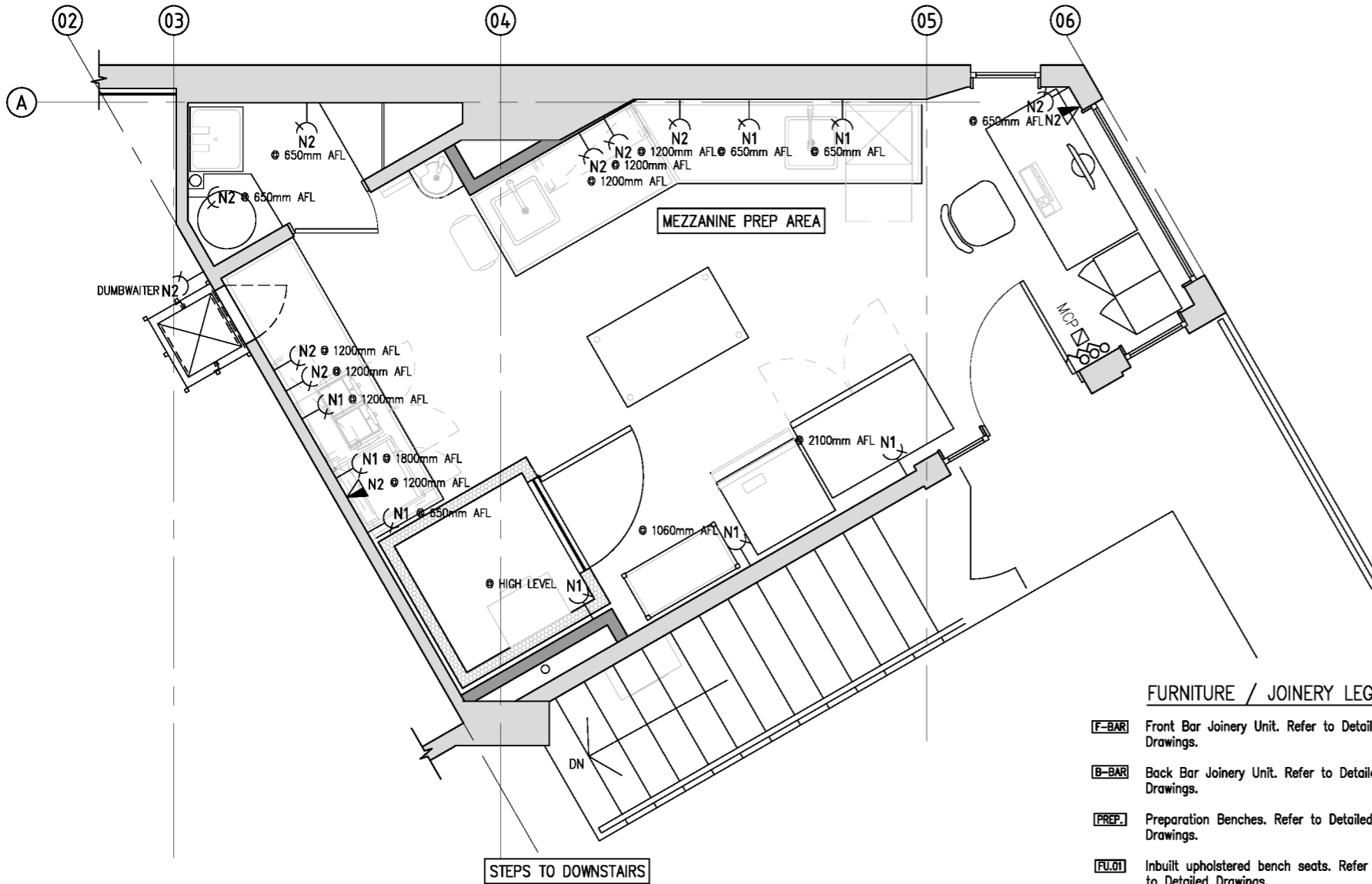
Drawn:

Date: JANUARY 2021

Scale: 1:50 ©A3

Drawing No: Rev:

A-103 0



FURNITURE / JOINERY LEGEND

- [F-BAR]** Front Bar Joinery Unit. Refer to Detailed Drawings.
- [B-BAR]** Back Bar Joinery Unit. Refer to Detailed Drawings.
- [PREP]** Preparation Benches. Refer to Detailed Drawings.
- [FU.01]** Inbuilt upholstered bench seats. Refer to Detailed Drawings.
- [FU.02]** 600mm dia acrylic laminated 25mm table top on powder coated steel round base. Refer to SOW Document.
- [FU.03]** Upholstered dining chair 'A' with powder coated legs. Refer to SOW Document.
- [FU.04]** 1800 x 600 acrylic laminated 25mm table top on powder coated steel leaner substructure. Refer to SOW Document.
- [FU.05]** Upholstered bar stool 'A' with powder coated legs. Refer to SOW Document.
- [FU.06]** 1250 x 600 acrylic laminated 25mm table top on powder coated steel leaner substructure. Refer to SOW Document.
- [FU.07]** Upholstered bar stool 'B' with powder coated legs. Refer to SOW Document.
- [FU.08]** 900mm dia acrylic laminated 25mm table top on powder coated steel round base. Refer to SOW Document.
- [FU.09]** Upholstered dining chair 'B' with powder coated legs. Refer to SOW Document.
- [FU.11]** Staff Workstation and Task Chair. Refer to SOW Document.
- [FU.12]** Staff Lockers. Refer to SOW Document.

01 PROPOSED MEZZ. G.A PLAN
 1:50

Wellington City Council
 22 February 2022

All dimensions to be checked on site before commencing work

Rev #	Description
0	ISSUED FOR BUILDING CONSENT
A	ISSUED FOR BUILDING CONSENT RFI - DUMBWATER REMOVED FROM SCOPE 11.03.21

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
GROUND
FLOOR PLAN**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50
Drawing No: Rev:
A-104 A

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

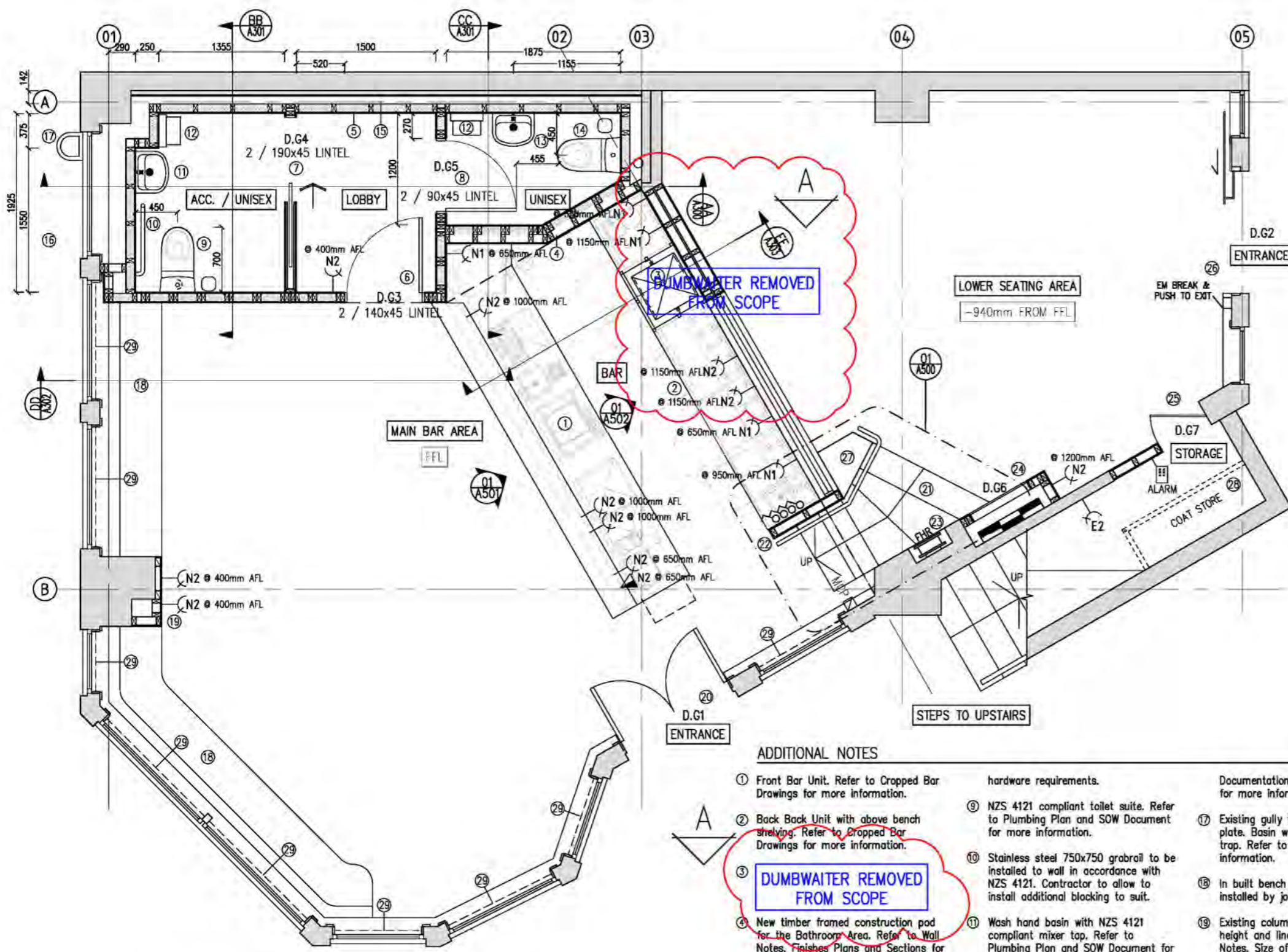
These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

WALL LEGEND

Typically 90x45 H1.2 treated timber framing at 400mm crs for any new partitions. 2/90x45 at 300mm crs for extended walls along front of bathrooms as per the drawings. Top and bottom plates to be fixed into existing structure in accordance with NZ Standards. DPC under bottom plate if directly installed on concrete slab. Additional timber blocking in walls where joinery fixtures are to be mounted. Trims and skirtings are to be as per Detail Documentation and Notes.

Autex Acoustic insulation to be installed into walls around the toilet block. Refer Specification.

All walls to have 13mm Gib Noiseline (dry areas) / Aqualine (wet areas) plasterboard stopped to an F4 Finish. Refer to Finishes Plans for Decorating or any feature panel requirements.



ADDITIONAL NOTES

- ① Front Bar Unit. Refer to Cropped Bar Drawings for more information.
- ② Back Bar Unit with above bench shelving. Refer to Cropped Bar Drawings for more information.
- ③ **DUMBWATER REMOVED FROM SCOPE**
- ④ New timber framed construction pod for the Bathroom Area. Refer to Wall Notes, Finishes Plans and Sections for more information.
- ⑤ New rear timber framed wall offset from existing wall line to conceal plumbing services.
- ⑥ D.G.3. New solid core door with dressed timber jambs to the Lobby. Refer to SOW Document for hardware requirements.
- ⑦ D.G.4. New CS For Doors Easy Open WC Accessible Bathroom Door with NZS4121 compliant LaviLock. Refer to SOW Document for hardware requirements.
- ⑧ D.G.5. New solid core door with dressed timber jambs to the Unisex Bathroom. Refer to SOW Document for hardware requirements.
- ⑨ NZS 4121 compliant toilet suite. Refer to Plumbing Plan and SOW Document for more information.
- ⑩ Stainless steel 750x750 grabrail to be installed to wall in accordance with NZS 4121. Contractor to allow to install additional blocking to suit.
- ⑪ Wash hand basin with NZS 4121 compliant mixer tap. Refer to Plumbing Plan and SOW Document for more information.
- ⑫ Black Tork paper hand dispenser and client supplied bin beneath. Refer to SOW Document for more information.
- ⑬ Wash hand basin with mixer tap. Refer to Plumbing Plan and SOW Document for more information.
- ⑭ New toilet suite. Refer to Plumbing Plan and SOW Document for more information.
- ⑮ Plumbing waste pipe in the service cavity. Refer to Plumbing Plan.
- ⑯ New waste connections. Contractor to make good slab from Accessible Pan in accordance with the Detail
- ⑰ Existing gully trap outside with cover plate. Basin waste pipe to charge the trap. Refer to Plumbing Plan for more information.
- ⑱ In built bench seats. To be built and installed by joiner.
- ⑲ Existing column to be framed out full height and lined with GIB as per Wall Notes. Size of framing to be set out on site to align with the inbuilt bench seating mentioned in the above note.
- ⑳ D.G.1. Existing Entry Door from the pedestrian laneway. Refer to SOW Document for hardware requirements.
- ㉑ New timber framed steps from the lower seating area to the main bar area. Refer to Cropped Stair Plans and Sections for more information.
- ㉒ Timber framed and GIB lined nib wall adjacent to stair and Back Bar Area. Refer to Cropped Stair Plans and Sections for more information.
- ㉓ Existing Fire Hose Reel (FHR) to remain.
- ㉔ Existing electrical board to be upgraded as required based on Electrician's assessment. Contractor to allow to frame out services cupboard at board location and supply and install joinery doors D.G.6 as per Detail Documentation and SOW Document.
- ㉕ D.G.7. New joinery door to the under-stair storage area as per Detail Documentation and SOW Document.
- ㉖ D.G.2. Existing automatic entry door. Contractor to allow to install push to exit button and emergency break glass in accordance with the Fire Report's requirements.
- ㉗ Area adjacent to staircase to be framed out with painted dressed pine top. Refer to Cropped Stair Plans and Sections for more information.
- ㉘ Galvanised steel coat rail 40mm dia to be installed to existing block wall. Contractor to allow to have welded plates at each end with 2 x M10 threaded anka screws per plate into the ex. concrete block walls + treaded rod dropper at corner to slab above.
- ㉙ Perimeter windows are to have window treatments sun shad roller blinds installed. Refer SOW Document.

01 PROPOSED GROUND FLOOR PLAN
1:50

Wellington City Council
22 February 2022

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

WALL LEGEND

Typically 90x45 H1.2 treated timber framing at 400mm crs for any new partitions. 2/90x45 at 300mm crs for extended walls along front of bathrooms as per the drawings. Top and bottom plates to be fixed into existing structure in accordance with NZ Standards. DPC under bottom plate if directly installed on concrete slab. Additional timber blocking in walls where joinery fixtures are to be mounted. Trims and skirlings are to be as per Detail Documentation and Notes.

Autex Acoustic insulation to be installed into walls around the toilet block. Refer Specification.

All walls to have 13mm Gib Noiseline (dry areas) / Aqualine (wet areas) plasterboard stopped to an F4 Finish. Refer to Finishes Plans for Decorating or any feature panel requirements.

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21
A	ISSUED FOR BUILDING CONSENT RFI - DUMBWAITER REMOVED FROM SCOPE	11.03.21

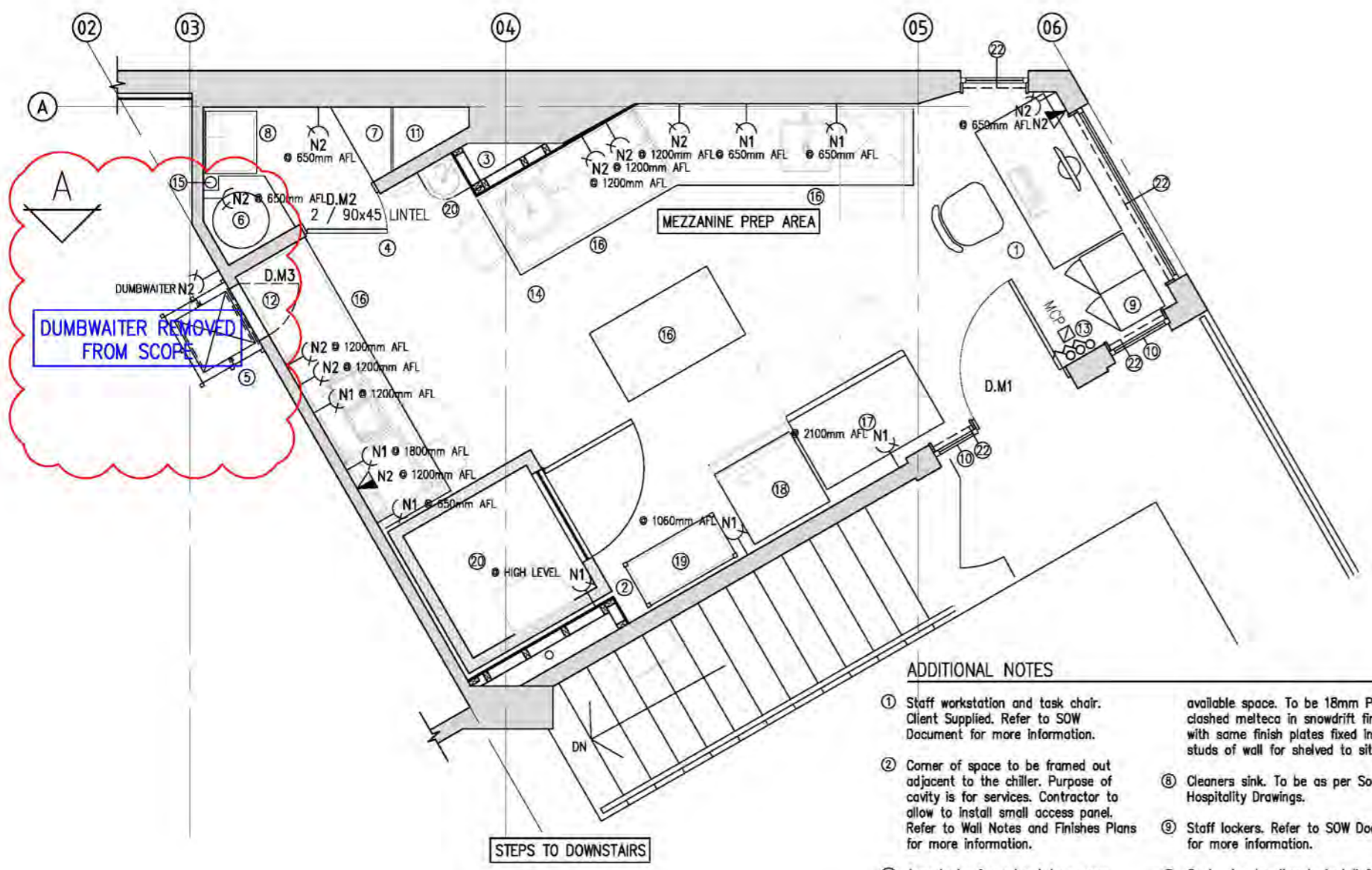
Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
PROPOSED MEZZANINE FLOOR PLAN

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50
Drawing No: Rev:

A-105 A

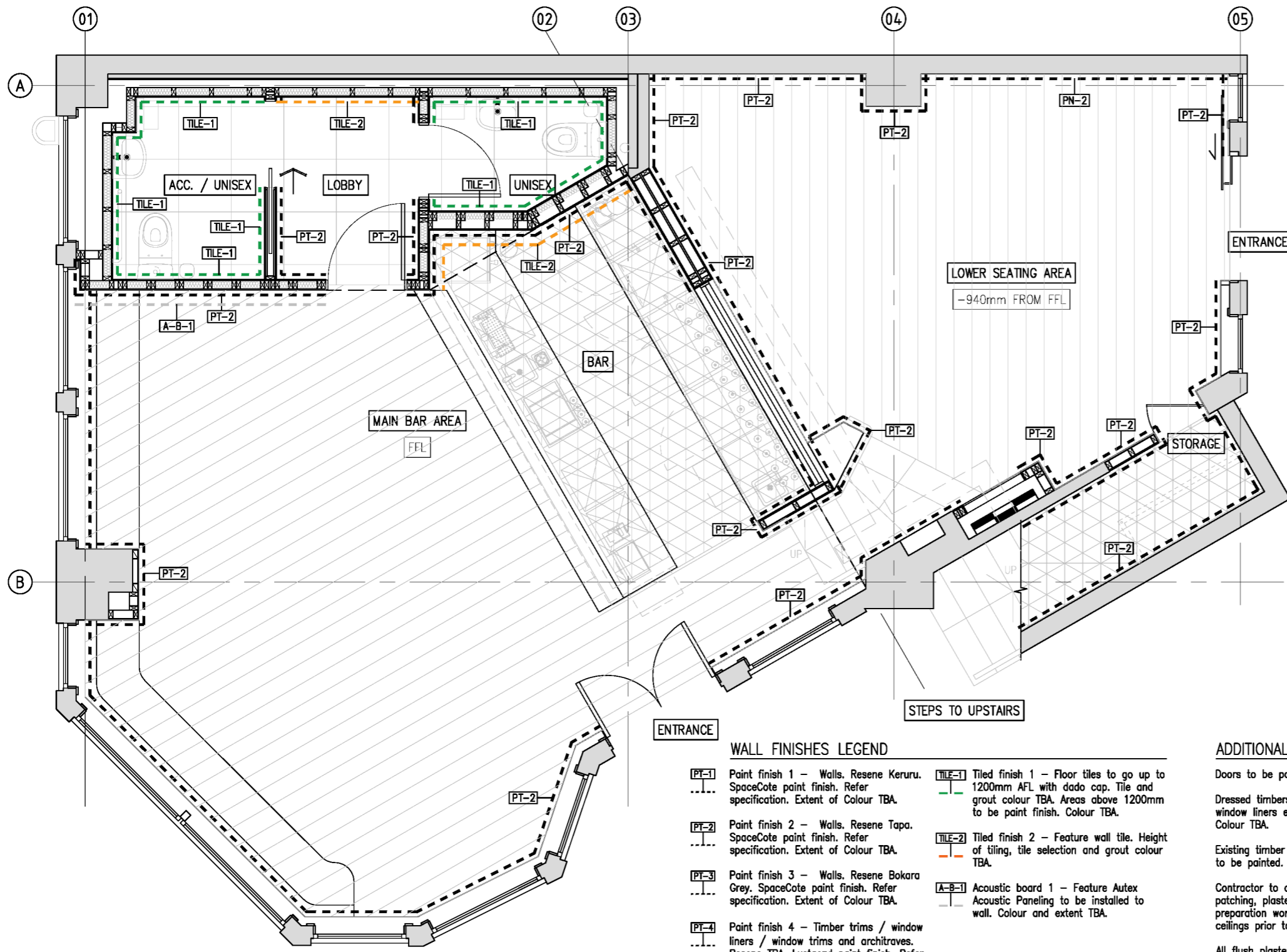


ADDITIONAL NOTES

- ① Staff workstation and task chair. Client Supplied. Refer to SOW Document for more information.
- ② Corner of space to be framed out adjacent to the chiller. Purpose of cavity is for services. Contractor to allow to install small access panel. Refer to Wall Notes and Finishes Plans for more information.
- ③ Area to be framed out to remove additional wall angles. Refer to Wall Notes and Finishes Plans for more information.
- ④ D.M.2. New solid core door with dressed timber jambs into the cupboard. Refer to SOW Document for hardware requirements.
- ⑤ **DUMBWAITER REMOVED FROM SCOPE**
- ⑥ New Rheem 180L electric hot water cylinder (HWC) to be installed on timber framed plinth with tray, lagging and seismic restraints in accordance with the NZBC G12.
- ⑦ New shelving to be installed. Contractor is to allow to install 3 x shelves scribed to suit shape of available space. To be 18mm PVC clashed melteca in snowdrift finish with some finish plates fixed into studs of wall for shelved to sit on.
- ⑧ Cleaners sink. To be as per Southern Hospitality Drawings.
- ⑨ Staff lockers. Refer to SOW Document for more information.
- ⑩ Contractor to allow to install frosted film to glazing to tenancy from the landing for privacy.
- ⑪ Area where mechanical riser is to be installed. Refer to Advanced Building Services Drawings for more information.
- ⑫ **DUMBWAITER AND ASSOCIATED DOORS REMOVED FROM SCOPE**
- ⑬ Relocated position of the Manual Call Point (MCP).
- ⑭ Repair flooring substrates as required. Areas of substrate to be replaced with plywood. Contractor to allow to uplift sheets of substrate as required to run new services within the floor cavity.
- ⑮ Plumbing stack to come from services wall behind toilet pod and up through cupboard space. Refer to Plumbing Plan and Schematic for more information.
- ⑯ Prep benches to be supplied and installed in accordance with the Southern Hospitality Drawings.
- ⑰ Fridge/freezer unit to be supplied and installed in accordance with the Southern Hospitality Drawings.
- ⑱ Ice Machine to be supplied and installed in accordance with the Southern Hospitality Drawings.
- ⑲ Dry Store to be supplied and installed in accordance with the Southern Hospitality Drawings.
- ⑳ Wash hand basins to be supplied and installed in accordance with the Southern Hospitality Drawings. Waste to be connected to charge the floor waste gully trap. Refer to the Plumbing Plan and Schematics for more information.
- ㉑ Coldroom to be Misa KLM1A Coldroom. To be supplied and installed by contractor in accordance with the manufacturer's specifications.
- ㉒ Perimeter windows are to have window treatments sun shade roller blinds installed. Refer SOW Document.

01 PROPOSED MEZZ. FLOOR PLAN
1:50

Wellington City Council
22 February 2022



GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

WALL LEGEND

Typically 90x45 H1.2 treated timber framing at 400mm crs for any new partitions. 2/90x45 at 300mm crs for extended walls along front of bathrooms as per the drawings. Top and bottom plates to be fixed into existing structure in accordance with NZ Standards. DPC under bottom plate if directly installed on concrete slab. Additional timber blocking in walls where joinery fixtures are to be mounted. Trims and skirtings are to be as per Detail Documentation and Notes.

Autex Acoustic insulation to be installed into walls around the toilet block. Refer Specification.

All walls to have 13mm Gib Noiseline (dry areas) / Aqualine (wet areas) plasterboard stopped to an F4 Finish. Refer to Finishes Plans for Decorating or any feature panel requirements.

WALL FINISHES LEGEND

- PT-1 Point finish 1 - Walls. Resene Keruru. SpaceCote paint finish. Refer specification. Extent of Colour TBA.
- PT-2 Point finish 2 - Walls. Resene Tapa. SpaceCote paint finish. Refer specification. Extent of Colour TBA.
- PT-3 Point finish 3 - Walls. Resene Bokara Grey. SpaceCote paint finish. Refer specification. Extent of Colour TBA.
- PT-4 Point finish 4 - Timber trims / window liners / window trims and architraves. Resene TBA. Lustacryl paint finish. Refer specification.
- PT-5 Point finish 5 - Flush plasterboard ceilings. Resene TBA. SpaceCote paint finish. Refer Specification.
- PT-6 Point finish 6 - Exposed ceilings, beams and exposed services. Resene TBA. Refer Specification.
- PN-1 Panel finish 1 - HardieGlaze flush lining board. To be installed on Gib Aqualine with PVC jointers and bottom edge sheet cap. 2400mm panels above 150mm vinyl cove.
- TILE-1 Tiled finish 1 - Floor tiles to go up to 1200mm AFL with dado cap. Tile and grout colour TBA. Areas above 1200mm to be paint finish. Colour TBA.
- TILE-2 Tiled finish 2 - Feature wall tile. Height of tiling, tile selection and grout colour TBA.
- A-B-1 Acoustic board 1 - Feature Autex Acoustic Paneling to be installed to wall. Colour and extent TBA.

ADDITIONAL NOTES

- Doors to be painted. Colour TBA.
- Dressed timbers such as door and window liners etc are to be painted. Colour TBA.
- Existing timber perimeter window frames to be painted. Colour TBA.
- Contractor to allow to carry out all patching, plastering and other preparation works to the walls and ceilings prior to decoration commencing.
- All flush plasterboard ceilings and bulkheads are to be painted as per PT-5.
- All exposed ceiling, beams and exposed services are to be painted out as per PT-6.
- Colour and extent of Autex Acoustic Paneling is to be confirmed prior to Construction.
- Areas where paneled wall linings are being installed it should be noted that painting may be required above or below said paneled linings.

FLOOR FINISHES LEGEND

- Vinyl Planking - Godfrey Hirst Regent DS Vinyl Planking. Colour TBA.
- Vinyl Flooring - Polyflor 2000 PUR. Colour TBA.
- Tiled Flooring - Tile Depot Light Grey Matt 600x600 Terrazzo Look Tile. TBC prior to construction.

ADDITIONAL NOTES

- Contractor to carry out all required floor preparation to suit the proposed floor covering.
- The small rebuilt internal stair case is to have the vinyl planking installed on both the treads and risers although the plan does not depict a hatch in this location.
- Contractor to allow to supply and install all trims and finishing edges including but not limited to:
 - Tile to Planking transitions.
 - Planking to vinyl transitions.
 - Tile finishing caps.
 - Vinyl cove caps.
 - Planking finishing caps at entry(s).
 - Internal stair nosings.

All dimensions to be checked on site before commencing work

Rev #	Description
0	ISSUED FOR BUILDING CONSENT
Date	22/01/21

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
GROUND
FINISHES PLAN**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50 ©A3
Drawing No: Rev:

A-106 0

01 PROPOSED GROUND FINISHES PLAN
1:50

Wellington City Council
22 February 2022

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

WALL LEGEND

- Typically 90x45 H1.2 treated timber framing at 400mm crs for any new partitions. 2/90x45 at 300mm crs for extended walls along front of bathrooms as per the drawings. Top and bottom plates to be fixed into existing structure in accordance with NZ Standards. DPC under bottom plate if directly installed on concrete slab. Additional timber blocking in walls where joinery fixtures are to be mounted. Trims and skirtings are to be as per Detail Documentation and Notes.
- Autex Acoustic insulation to be installed into walls around the toilet block. Refer Specification.
- All walls to have 13mm Gib Noiseline (dry areas) / Aqualine (wet areas) plasterboard stopped to an F4 Finish. Refer to Finishes Plans for Decorating or any feature panel requirements.

ADDITIONAL NOTES

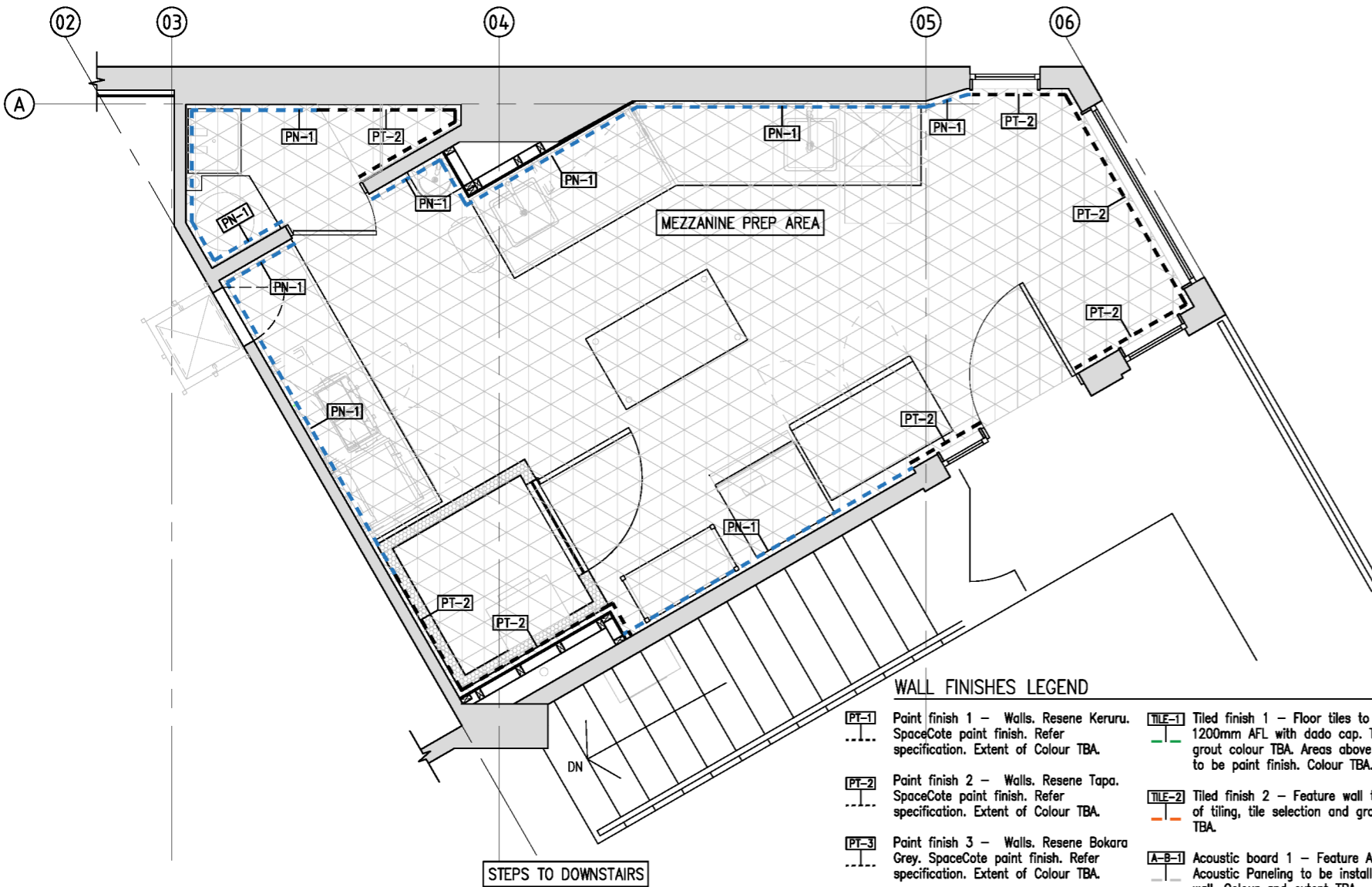
- Doors to be painted. Colour TBA.
- Dressed timbers such as door and window liners etc are to be painted. Colour TBA.
- Existing timber perimeter window frames to be painted. Colour TBA.
- Contractor to allow to carry out all patching, plastering and other preparation works to the walls and ceilings prior to decoration commencing.
- All flush plasterboard ceilings and bulkheads are to be painted as per PT-5.
- All exposed ceiling, beams and exposed services are to be painted out as per PT-6.
- Colour and extent of Autex Acoustic Paneling is to be confirmed prior to Construction.
- Areas where paneled wall linings are being installed it should be noted that painting may be required above or below said paneled linings.

FLOOR FINISHES LEGEND

- Vinyl Planking – Godfrey Hirst Regent DS Vinyl Planking. Colour TBA.
- Vinyl Flooring – Polyflor 2000 PUR. Colour TBA.
- Tiled Flooring – Tile Depot Light Grey Matt 600x600 Terrazzo Look Tile. TBC prior to construction.

ADDITIONAL NOTES

- Contractor to carry out all required floor preparation to suit the proposed floor covering.
- The small rebuilt internal stair case is to have the vinyl planking installed on both the treads and risers although the plan does not depict a hatch in this location.
- Contractor to allow to supply and install all trims and finishing edges including but not limited to:
 - Tile to Planking transitions.
 - Planking to vinyl transitions.
 - Tile finishing caps.
 - Vinyl cove caps.
 - Planking finishing caps at entry(s).
 - Internal stair nosings.



WALL FINISHES LEGEND

- PT-1 Point finish 1 – Walls. Resene Keruru. SpaceCote paint finish. Refer specification. Extent of Colour TBA.
- PT-2 Point finish 2 – Walls. Resene Tapa. SpaceCote paint finish. Refer specification. Extent of Colour TBA.
- PT-3 Point finish 3 – Walls. Resene Bokara Grey. SpaceCote paint finish. Refer specification. Extent of Colour TBA.
- PT-4 Point finish 4 – Timber trims / window liners / window trims and architraves. Resene TBA. Lustacryl paint finish. Refer specification.
- PT-5 Point finish 5 – Flush plasterboard ceilings. Resene TBA. SpaceCote paint finish. Refer Specification.
- PT-6 Point finish 6 – Exposed ceilings, beams and exposed services. Resene TBA. Refer Specification.
- PN-1 Panel finish 1 – HardieGlaze flush lining board. To be installed on Gib Aqualine with PVC jointers and bottom edge sheet cap. 2400mm panels above 150mm vinyl cove.
- TILE-1 Tiled finish 1 – Floor tiles to go up to 1200mm AFL with dado cap. Tile and grout colour TBA. Areas above 1200mm to be paint finish. Colour TBA.
- TILE-2 Tiled finish 2 – Feature wall tile. Height of tiling, tile selection and grout colour TBA.
- A-B-1 Acoustic board 1 – Feature Autex Acoustic Paneling to be installed to wall. Colour and extent TBA.

01 PROPOSED MEZZ. FINISHES PLAN
1:50

Wellington City Council
22 February 2022

All dimensions to be checked on site before commencing work

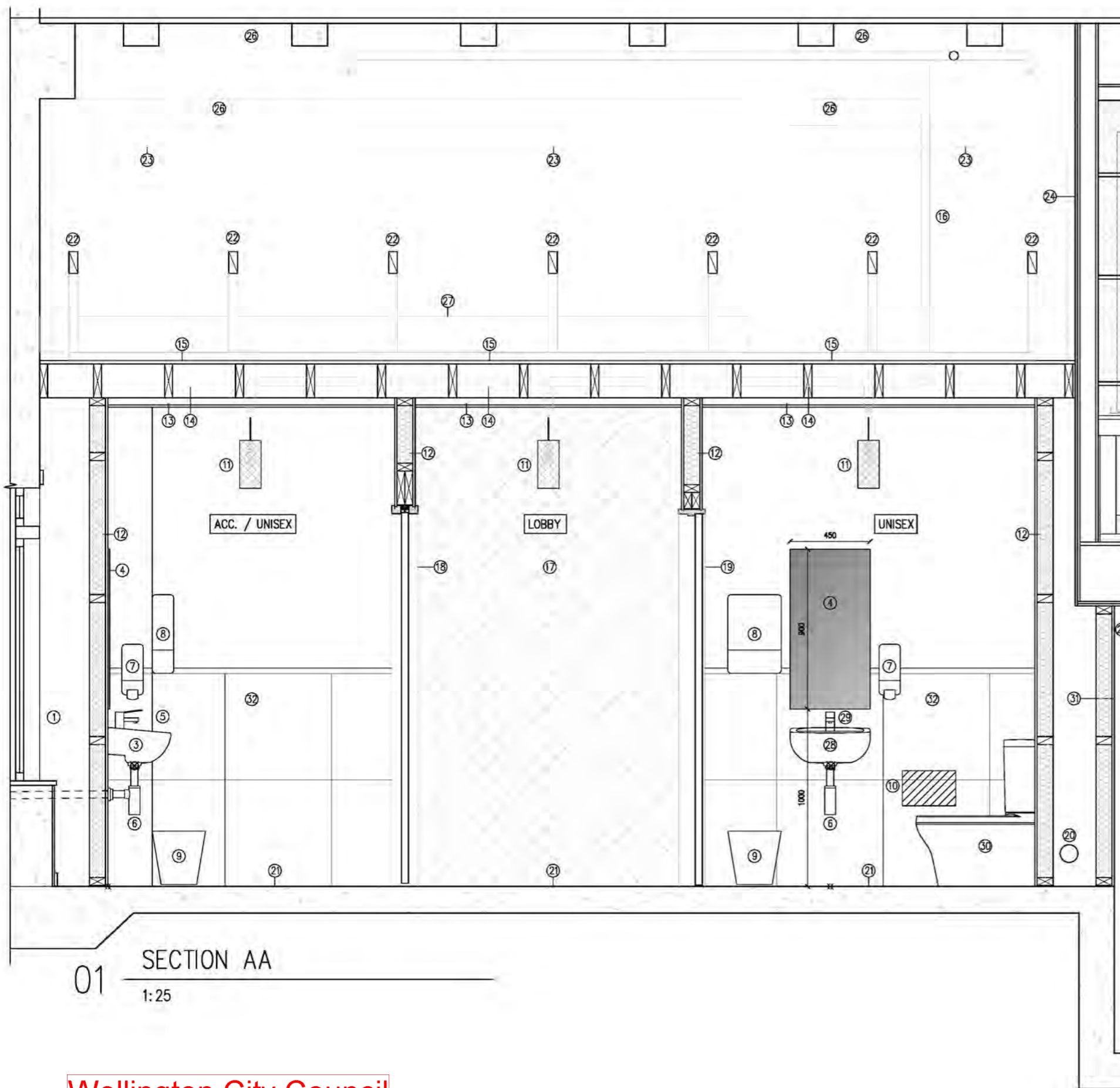
Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
PROPOSED MEZZANINE FINISHES PLAN

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50 @A3
Drawing No: Rev:
A-107 0



01 SECTION AA
1:25

ADDITIONAL NOTES

- ① Existing exterior windows to be decorated in accordance with Finishes Plan. In the location of the window behind the Accessible Bathroom Contractor is to allow to install block out frosted film to windows from the interior side to remove vision into the back of the timber framed internal wall.
- ② Waste pipe to be installed from wash hand basin to the gully trap. Refer to Plumbing Plan and SOW Document for more information.
- ③ Wall mounted wash hand basin in Accessible Bathroom. Contractor to allow to install additional blocking to suit. Refer to Plumbing Plan and SOW Document for more information.
- ④ 450 x 900mm custom made polished edged vinyl backed mirror. to be installed 1000mm AFL.
- ⑤ NZS 4121 compliant basin mixer. Refer to Plumbing Plan and SOW Document for more information.
- ⑥ Caroma Eco Bottle Trap. Refer to Plumbing Plan and SOW Document for more information.
- ⑦ Soap dispenser. To be supplied by Client and installed by Contractor.
- ⑧ Paper towel dispenser. To be supplied by Client and installed by Contractor.
- ⑨ Paper towel waste bin. To be supplied by Client.
- ⑩ Area for toilet paper roll holder to be mounted. Refer to SOW Document for more information.
- ⑪ Feature pendant ceiling light. Refer to Proposed Reflected Ceiling Plans (RCPs) for more information.
- ⑫ New timber framed wall with acoustic insulation and wall linings in accordance with Wall Notes and Detail Documentation.
- ⑬ Gib Plasterboard Ceiling on Rondo metal batten and clip system in accordance with Ceiling Notes on RCPs and decorated in accordance with the Finishes Plans.
- ⑭ 190 x 45 SG8 H1.2 timber floor joists at 400mm crs to be used to construct roof of the Bathroom Pod. To have blocking at 600mm crs. Refer to Detail Documentation.
- ⑮ 21mm structural plywood floor diaphragm. To be fixed with 10g x 45mm screws along all substructure lines at no more than 150mm crs.
- ⑯ Existing sprinkler system to be extended by nominated fire suppression contractor to provide 3 additional sprinklers to the spaces within the Bathroom Pod.
- ⑰ Feature wall linings. Refer to Finishes Plans and Detail Documentation for more information.
- ⑱ D.G4 New CS For Doors Easy Open WC Accessible Bathroom Cavity Slider Door with NZS 4121 compliant Lavlock. Door to have 2 / 190x45mm H1.2 SG8 timber lintel installed above door in accordance with NZS 3604. Refer to Detail Documentation and SOW Document for more information.
- ⑲ D.G5 New solid core door with dressed pine jambs. Door to have 2 / 90x45mm H1.2 SG8 timber lintel installed above door in accordance with NZS 3604. Refer to Detail Documentation and SOW Document for more information.
- ⑳ Proposed waste pipe within the service cavity. Refer to the Plumbing Plan.
- ㉑ New flooring. Refer to the Finishes Plans and Detail Documentation for more information.
- ㉒ Timber framed nib wall to be created above Bathroom Pod with angled back braces. Bottom plates to be fixed into continuous blocking beneath plate location. To be lined with structural plywood and painted. Refer to Detail Documentation for more information.
- ㉓ Outline of faux vertical green wall which is in front of section cut line.
- ㉔ Line of existing wall through to the Mezzanine Preparation Area.
- ㉕ Line of existing ceiling / floor structure between the Lower Seating Area and the Mezzanine Preparation Area.
- ㉖ Existing exposed ceiling structure. To be addressed in accordance with the Proposed Reflected Ceiling Plans and Finishes Plans.
- ㉗ Mechanical extract system for the bathrooms is to be installed above the Bathroom Pod. Refer to Mechanical Consultant's Documentation for specific information and Architectural RCPs for service access hatches.
- ㉘ Wall mounted wash hand basin in Unisex Bathroom. Contractor to allow to install additional blocking to suit. Refer to Plumbing Plan and SOW Document for more information.
- ㉙ Basin Mixer. Refer to Plumbing Plan and SOW Document for more information.
- ㉚ Toilet Suite. Refer to Plumbing Plan and SOW Document for more information.
- ㉛ Existing wall is to have Noiseline Gib and acoustic insulation installed.
- ㉜ Tiled floor coverings to go up walls within bathrooms to 1200mm AFL. Tile selection and set out to be confirmed prior to construction. To be capped with painted timber dado. Area above dado to be painted in accordance with Finishes Plans.

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22/01/21

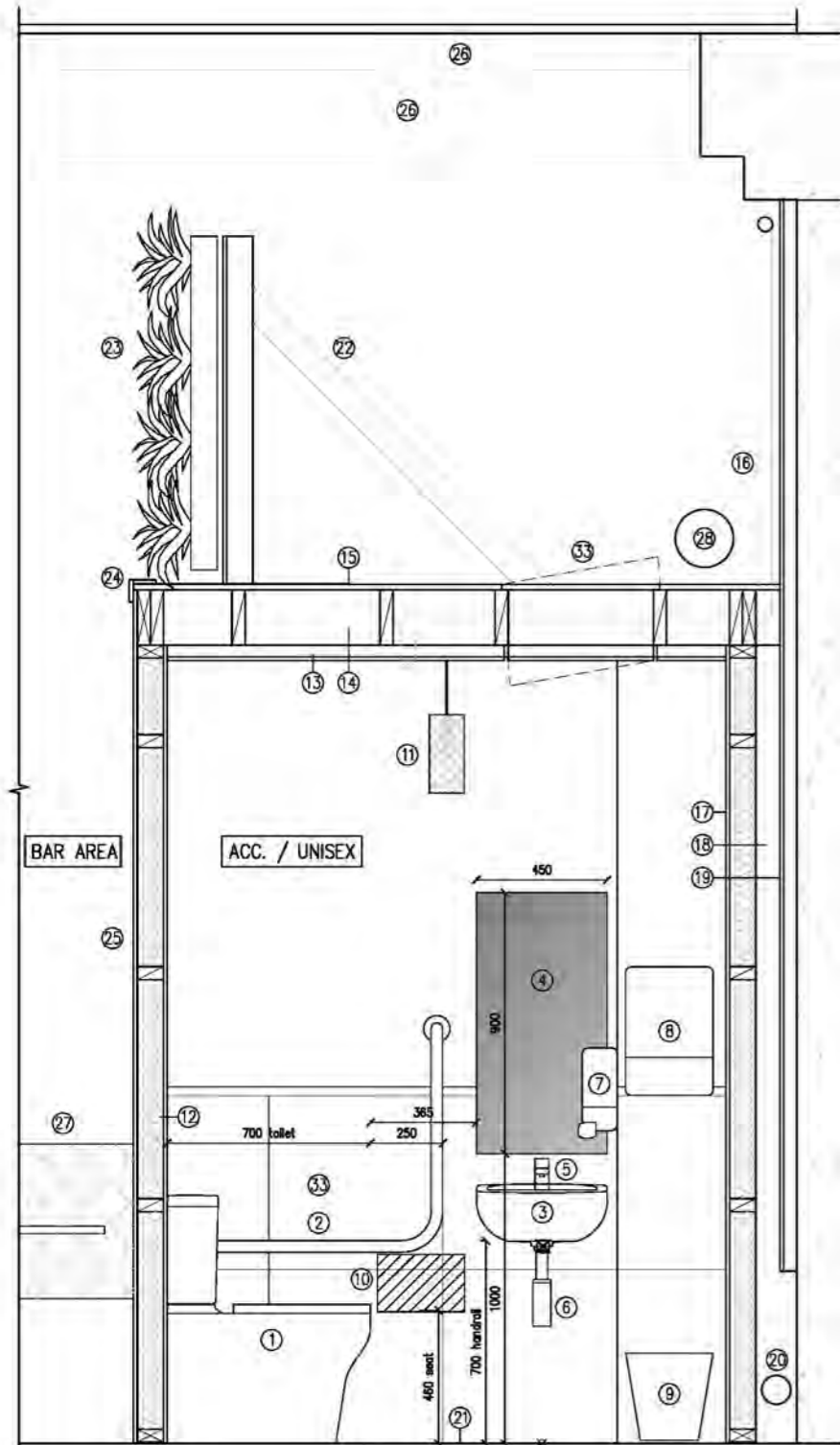
Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

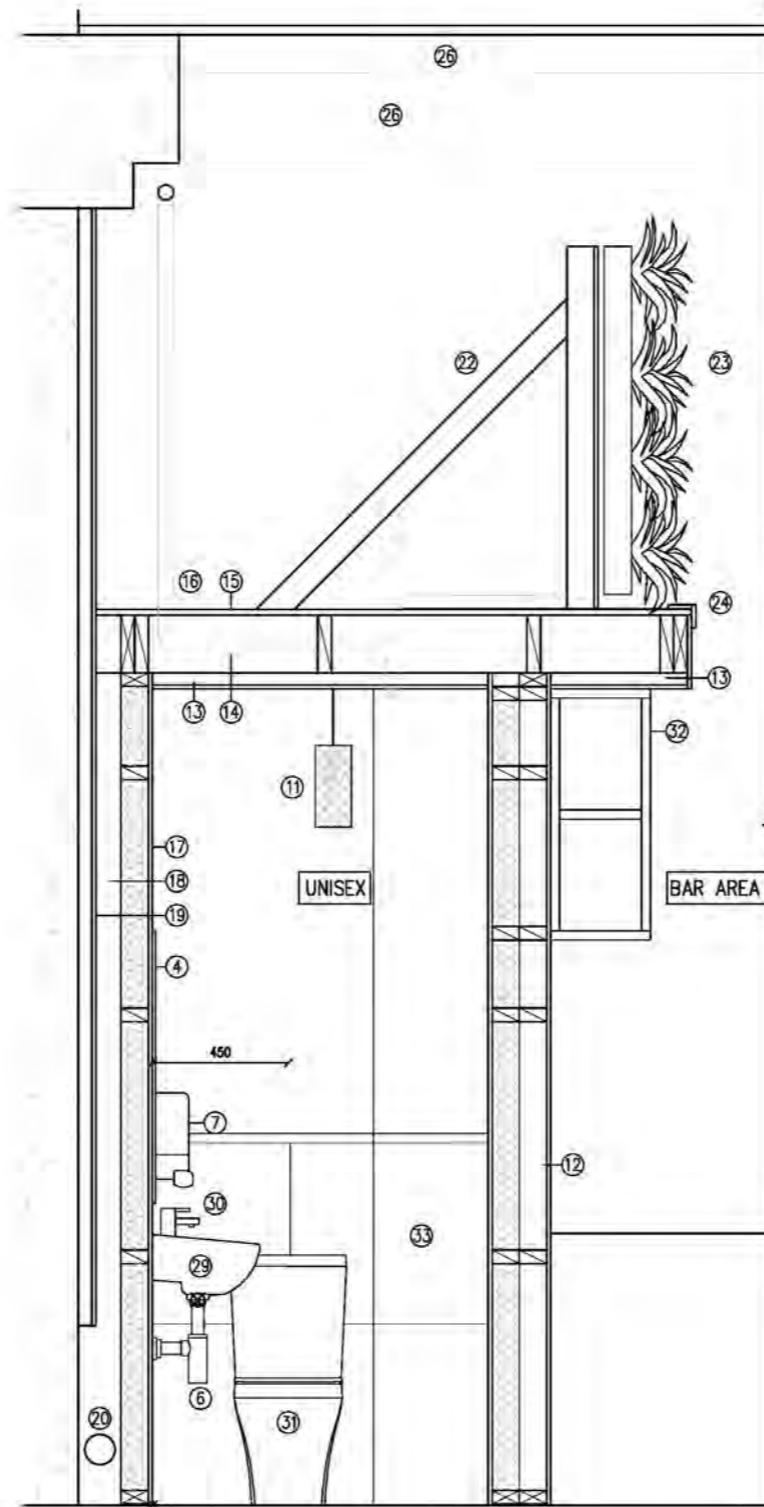
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PROPOSED SECTIONS SHEET ONE

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:25 ©A3
Drawing No: Rev:
A-300 0

Wellington City Council
22 February 2022



01 SECTION BB
1:25



02 SECTION CC
1:25

ADDITIONAL NOTES

- ① NZS 4121 compliant toilet suite. Refer to Plumbing Plan and SOW Document for more information.
- ② 750x750 stainless steel grabrail to be installed to wall in accordance with NZS 4121. Contractor to allow to install additional blocking to suit. Refer to Plumbing Plan and SOW Document for more information.
- ③ Wall mounted wash hand basin in Accessible Bathroom. Contractor to allow to install additional blocking to suit. Refer to Plumbing Plan and SOW Document for more information.
- ④ 450 x 900mm custom made polished edged vinyl backed mirror, to be installed 1000mm AFL.
- ⑤ NZS 4121 compliant basin mixer. Refer to Plumbing Plan and SOW Document for more information.
- ⑥ Caroma Eco Bottle Trap. Refer to Plumbing Plan and SOW Document for more information.
- ⑦ Client supplied soap dispenser. Refer to SOW Document.
- ⑧ Client supplied paper towel dispenser. Refer to SOW Document for more information.
- ⑨ Client supplied paper towel bin.
- ⑩ Area for toilet paper roll holder to be mounted in accordance with NZS 4121. Refer to SOW Document for more information.
- ⑪ Feature pendant ceiling light. Refer to Proposed Reflected Ceiling Plans (RCPs) for more information.
- ⑫ New timber framed wall with acoustic insulation and wall linings in accordance with Wall Notes and Detail Documentation.
- ⑬ Gib Plasterboard Ceiling on Rondo metal batten and clip system in accordance with Ceiling Notes on RCPs and decorated in accordance with the Finishes Plans.
- ⑭ 190 x 45 SGB H1.2 timber floor joists at 400mm crs to be used to construct roof of the Bathroom Pod. To have blocking at 600mm crs. Refer to Detail Documentation.
- ⑮ 21mm structural plywood floor diaphragm. To be fixed with 10g x 45mm screws along all substructure lines at no more than 150mm crs.
- ⑯ Existing sprinkler system to be extended by nominated fire suppression contractor to provide 3 additional sprinklers to the spaces within the Bathroom Pod.
- ⑰ Timber framed wall as per Wall Notes. Wall to have feature wall lining as per the Finishes Plans and Detail Documentation.
- ⑱ Service cavity created between the existing structure and the proposed Bathroom Pod.
- ⑲ Existing wall.
- ⑳ Proposed waste pipe within the service cavity. Refer to the Plumbing Plan.
- ㉑ New flooring. Refer to the Finishes Plans and Detail Documentation for more information.
- ㉒ Timber framed nib wall to be created above Bathroom Pod with angled back braces. Bottom plates to be fixed into continuous blocking beneath plate location. To be lined with structural plywood and painted. Refer to Detail Documentation for more information.
- ㉓ Faux vertical green wall to be installed above Bathroom Pod with nib wall as substrate. Refer to Detail Documentation for more information.
- ㉔ Dressed timber edge treatment between wall linings and floor diaphragm to be as per Detail Documentation.
- ㉕ Wall between Accessible/Unisex Bathroom and the seated area within the bar is to have acoustic paneling installed as per Interior Elevations and the Finishes Plans.
- ㉖ Existing exposed ceiling structure. To be addressed in accordance with the Proposed Reflected Ceiling Plans and Finishes Plans.
- ㉗ Bar Area furniture. Refer to Proposed General Arrangement Plans.
- ㉘ Mechanical extract system for the bathrooms is to be installed above the Bathroom Pod. Refer to Mechanical Consultant's Documentation for specific information and Architectural RCPs for service access hatches.
- ㉙ Wall mounted wash hand basin in Unisex Bathroom. Contractor to allow to install additional blocking to suit. Refer to Plumbing Plan and SOW Document for more information.
- ㉚ Basin Mixer. Refer to Plumbing Plan and SOW Document for more information.
- ㉛ Toilet Suite. Refer to Plumbing Plan and SOW Document for more information.
- ㉜ Shelving above coffee machine area. Contractor to allow to install additional blocking to suit. Refer to Bar Drawings for more information.
- ㉝ Tiled floor coverings to go up walls within bathrooms to 1200mm AFL. Tile selection and set out to be confirmed prior to construction. To be copped with painted timber dado. Area above dado to be painted in accordance with Finishes Plans.

All dimensions to be checked on site before commencing work

Date	22/01/21
Rev #	0
Description	ISSUED FOR BUILDING CONSENT

Project
KUIKUI GIN BAR

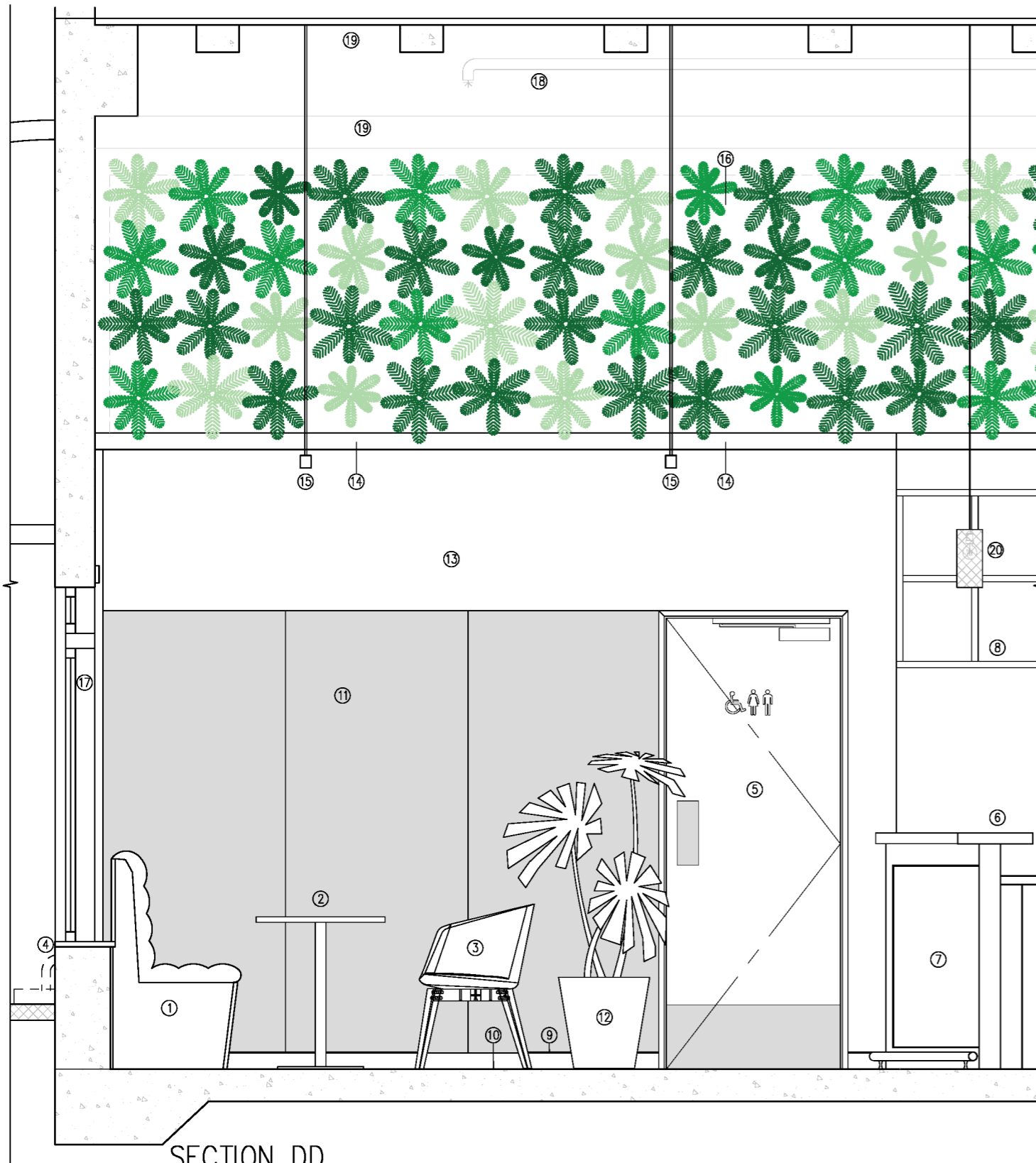
TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
SECTIONS
SHEET TWO**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:25 @A3
Drawing No: Rev:

A-301 0

Wellington City Council
22 February 2022



01 SECTION DD
1:25

Wellington City Council
22 February 2022

ADDITIONAL NOTES

- ① FU.01. Custom upholstered in built bench seating / joinery unit. To be built and installed by joiner. Refer to Proposed General Arrangement Plans for locations of bench seating.
- ② FU.02 table. Refer to Proposed General Arrangement Plans and SOW Document for more information.
- ③ FU.03 seating. Refer to Proposed General Arrangement Plans and SOW Document for more information.
- ④ Waste pipe to be installed from wash hand basin to the gully trap. Refer to Plumbing Plan and SOW Document for more information.
- ⑤ D.G3. New solid core door with dressed timber jambs to the Lobby. Refer to SOW Document for hardware requirements.
- ⑥ Front Bar Area. Refer to Bar Section and Cropped Bar Detail Documentation in conjunction with Southern Hospitality Drawings.
- ⑦ Front Bar feature paneling and other accessories. Refer to Cropped Bar Detail Documentation for more information.
- ⑧ Shelving above coffee machine area. Contractor to allow to install additional blocking to suit. Refer to Bar Drawings for more information.
- ⑨ Dressed timber skirtings along all new walls. Refer to Detail Documentation and Wall Notes for more information.
- ⑩ New flooring. Refer to the Finishes Plans and Detail Documentation for more information.
- ⑪ Feature acoustic paneling to be installed to walls to align with the edges of the architraves on the door. To be installed prior to inbuilt joinery being installed. Refer to Finishes Plans for extent and more information.
- ⑫ Interior pot plant. To be arranged and supplied by client.
- ⑬ Bathroom Pod. To be framed up in accordance with the Plans and Sections of the area. To be lined with Gib plasterboard as noted on within the Wall Notes and decorated in accordance with the Finishes Plans.
- ⑭ Dressed pine trim to be installed at threshold of wall to floor diaphragm above the Bathroom Pod. Refer to Cross Sections and Detail Documentation for more information.
- ⑮ LED lighting. Refer to Proposed Reflected Ceiling Plans and SOW Document for more information.
- ⑯ Faux vertical green wall to be installed above Bathroom Pod with nib wall as substrate. Refer to Detail Documentation for more information.
- ⑰ All existing windows frames are to be re-decorated. Refer to Finishes Plans for more information.
- ⑱ Existing sprinkler system to be extended by nominated fire suppression contractor to provide 3 additional sprinklers to the spaces within the Bathroom Pod.
- ⑲ Existing exposed ceiling structure. To be addressed in accordance with the Proposed Reflected Ceiling Plans and Finishes Plans.
- ⑳ Feature lighting above the Bar Area. Refer to Proposed Reflected Ceiling Plans and SOW Document for more information.

Interact
ARCHITECTS

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All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.22

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
PROPOSED SECTIONS SHEET THREE

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:25 ©A3
Drawing No: Rev:
A-302 0

All dimensions to be checked on site before commencing work

Date 22.01.21

Rev # Description
0 ISSUED FOR BUILDING CONSENT

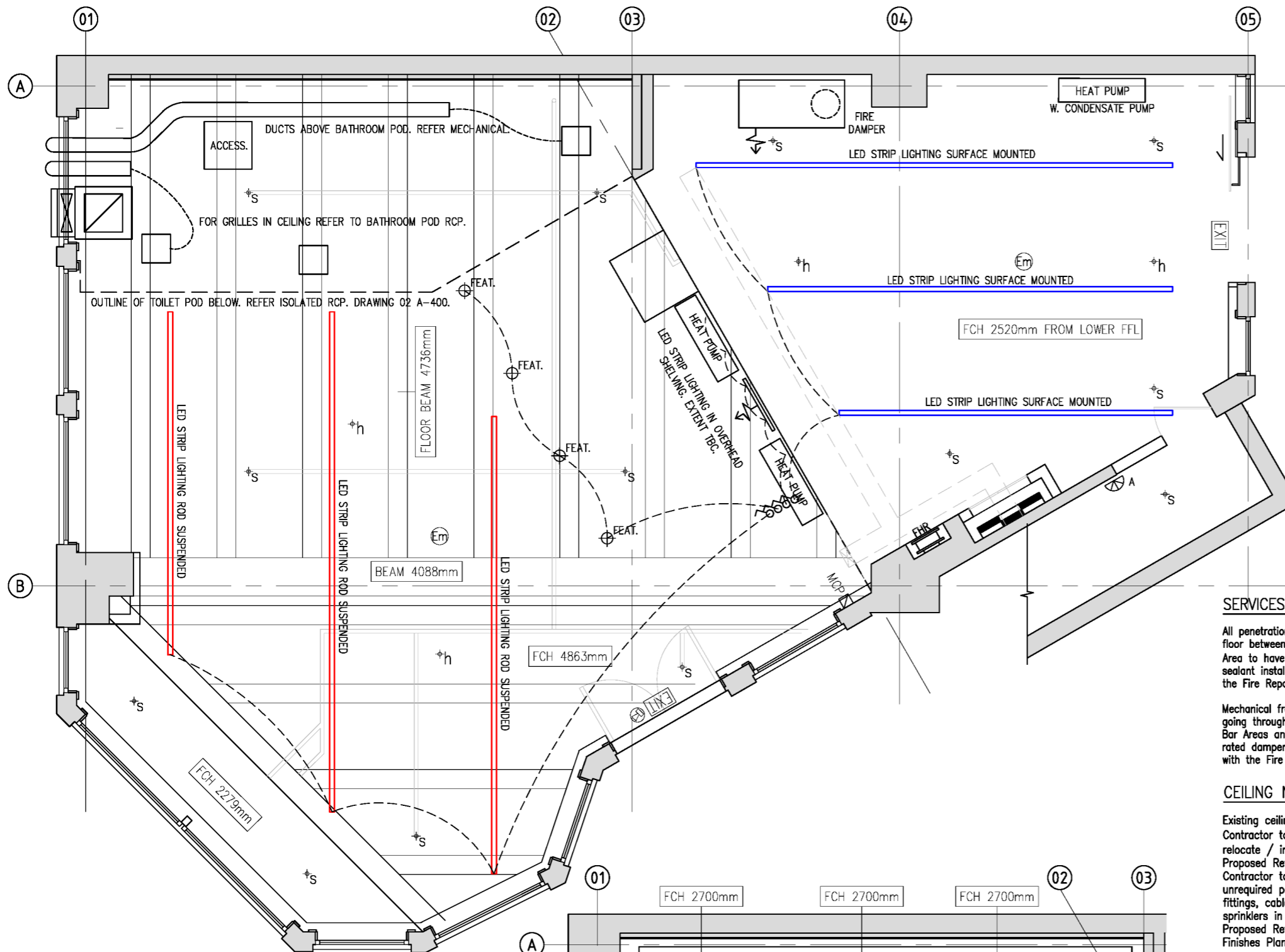
Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
GROUND
REFLECTED
CEILING PLAN**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50 ©A3
Drawing No: Rev:

A-400 0



CEILING LEGEND

- LED STRIP** Rod suspended LED fitting. To be:
 - Mothlight Fat Freddie 30 suspended on rod fixings. Powder coated black aluminium finish. All dimmable as indicated. LED Driver location to be confirmed on site.
- LED STRIP** Surface mounted LED fitting.
 - Mothlight Fat Freddie 30 surface mounted to u/s ceiling. Powder coated black aluminium finish. All dimmable as indicated. LED Driver location to be confirmed on site.
- FEAT.** New Feature light. To be:
 - Glass blown pendant light selected by Client.
- A** New LED bulkhead light. To be:
 - Wall mounting light selected by Client.
- B** New LED down lights. To be:
 - EcoPoint LED Compact Downlight G2. Supplier to advise wattage for space use.
- OS** Occupancy Sensor.
- S** Switch.
- EXIT** New Illuminated EXIT Light. To be as per EML Designer's Documentation.
- EM** New Emergency Light. To be as per EML Designer's Documentation.
- *S** Sprinkler.
- *h** Heat detector.
- SD** Sounder.
- FA** Fresh air supply grilles. Refer to Advanced Building Service's Documentation.
- EG** Extract grille. Refer to Advanced Building Service's Documentation.
- HEAT.PUMP** Mechanical High Wall Heat Pump. Refer adjacent mechanical notes and Advanced Building Service's Documentation.
- WiFi** WiFi access point.

SERVICES PENETRATIONS

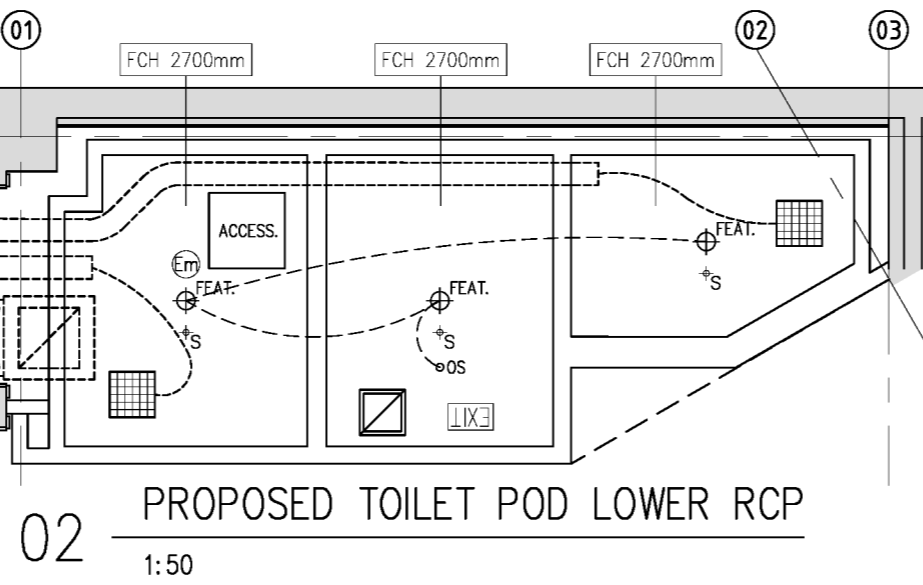
All penetrations through the wall and floor between Bar Areas and Prep Area to have fire rated collars / sealant installed in accordance with the Fire Report.

Mechanical fresh air supply ducts going through wall and floor between Bar Areas and Prep Area to have fire rated dampers installed in accordance with the Fire Report.

CEILING NOTES

- Any minor fire alarm / sounder alterations are to be carried out in accordance with NZS 4512.
- Refer to EML Designers Documentation for EML and Exit Lighting requirements.
- All services within the area of works (existing and new) are to be seismically restrained in accordance with the latest seismic codes and best trade practice.
- Ceiling to be decorated as per the notes on the Finishes Plans.
- Exposed Services in the Main Bar Area are to be decorated as per the notes on the Finishes Plans.
- Cameras / Security System to be designed by security sub-contractor. To be coordinated in AFC Docs. Refer SOW Document for more information.
- Existing cable trays to be reinstated as indicated to suit cable management in conjunction with catenary wires.

01 PROPOSED GROUND RCP
1:50



02 PROPOSED TOILET POD LOWER RCP
1:50

Wellington City Council
22 February 2022

All dimensions to be checked on site before commencing work

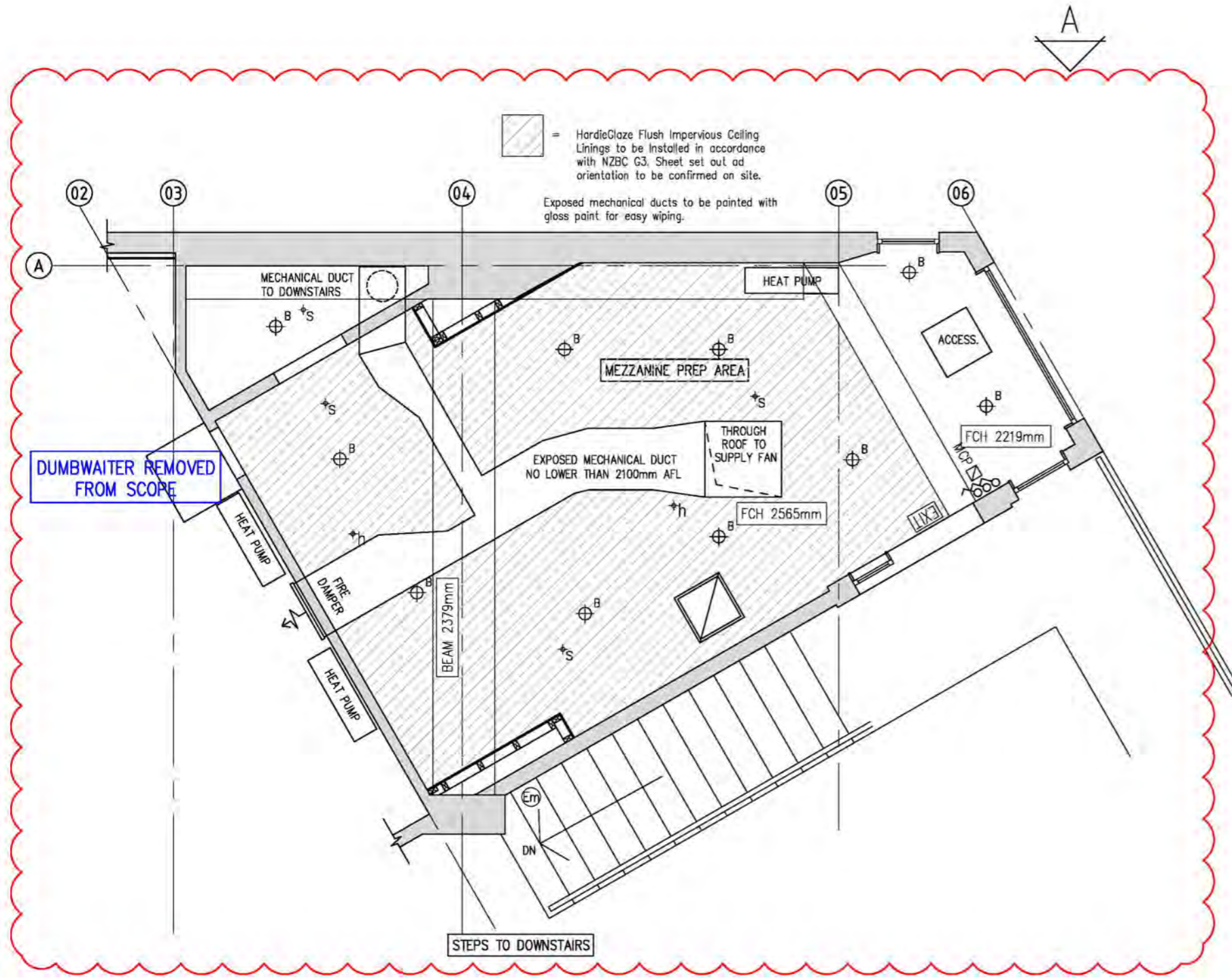
Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21
A	ISSUED FOR BUILDING CONSENT RFI - DUMBWAITER, RMD, CEILING ALT.	11.03.21

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
PROPOSED MEZZANINE REFLECTED CEILING PLAN

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:50 @A3
Drawing No: Rev:
A-401 A



CEILING LEGEND

- LED STRIP** Rod suspended LED fitting. To be:
 - Mothlight Fat Freddie 30 suspended on rod fixings. Powder coated black aluminium finish. All dimable as indicated. LED Driver location to be confirmed on site.
- LED STRIP** Surface mounted LED fitting.
 - Mothlight Fat Freddie 30 surface mounted to u/s ceiling. Powder coated black aluminium finish. All dimable as indicated. LED Driver location to be confirmed on site.
- FEAT.** New Feature light. To be:
 - Glass blown pendant light selected by Client.
- A** New LED bulkhead light. To be:
 - Wall mounting light selected by Client.
- B** New LED down lights. To be:
 - EcoPoint LED Compact Downlight G2. Supplier to advise wattage for space use.
- os** Occupancy Sensor.
- h** Switch.
- EXIT** New Illuminated EXIT Light. To be as per EML Designer's Documentation.
- EL** New Emergency Light. To be as per EML Designer's Documentation.
- s** Sprinkler.
- h** Heat detector.
- SD** Sounder.
- +** Fresh air supply grilles. Refer to Advanced Building Service's Documentation.
- +** Extract grille. Refer to Advanced Building Service's Documentation.
- HEAT PUMP** Mechanical High Wall Heat Pump. Refer adjacent mechanical notes and Advanced Building Service's Documentation.
- WiFi** WiFi access point.

SERVICES PENETRATIONS

All penetrations through the wall and floor between Bar Areas and Prep Area to have fire rated collars / sealant installed in accordance with the Fire Report.

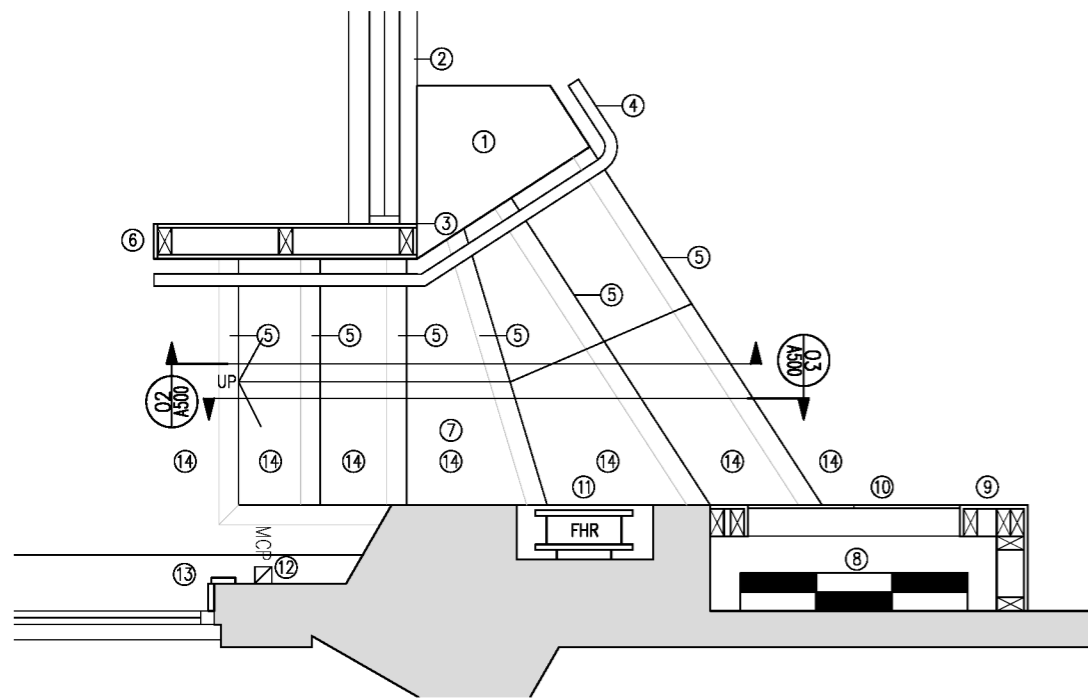
Mechanical fresh air supply ducts going through wall and floor between Bar Areas and Prep Area to have fire rated dampers installed in accordance with the Fire Report.

CEILING NOTES

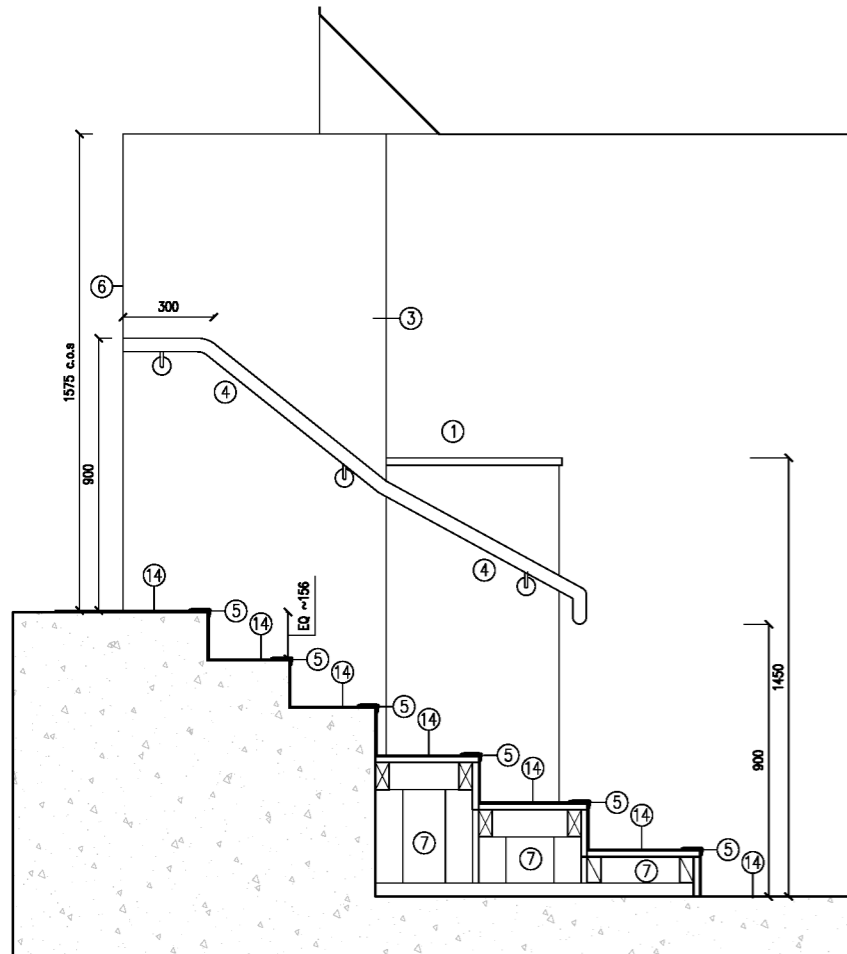
- Existing ceiling system to remain. Contractor to allow to remove / relocate / install services as per Proposed Reflected Ceiling Plans. Contractor to allow to make good any unrequired penetrations such as light fittings, cable tray brackets and sprinklers in accordance with the Proposed Reflected Ceiling Plans and Finishes Plans.
- Contractor to isolate services as required in accordance with the Scope Of Works Documentation to avoid any unnecessary triggering/activation during the works.
- Mechanical system, fresh air, tempered and extract to be designed and installed by Advanced Building Services.
- Contractor to carry out all services works in accordance with the relevant performance standards for said services system / specified system.
 - Sprinkler alterations / relocations are to be carried out in accordance with NZS 4541.
- Any minor fire alarm / sounder alterations are to be carried out in accordance with NZS 4512.
- Refer to EML Designers Documentation for EML and Exit Lighting requirements.
- All services within the area of works (existing and new) are to be seismically restrained in accordance with the latest seismic codes and best trade practice.
- Ceiling to be decorated/finished as noted or as per Finishes Plans.
- Exposed Services in the Main Bar Area are to be decorated as per the notes on the Finishes Plans.
- Cameras / Security System to be designed by security sub-contractor. To be coordinated in AFC Docs. Refer SOW Document for more information.
- Existing cable trays to be reinstated as indicated to suit cable management in conjunction with catenary wires.

01 PROPOSED MEZZ. RCP
1:50

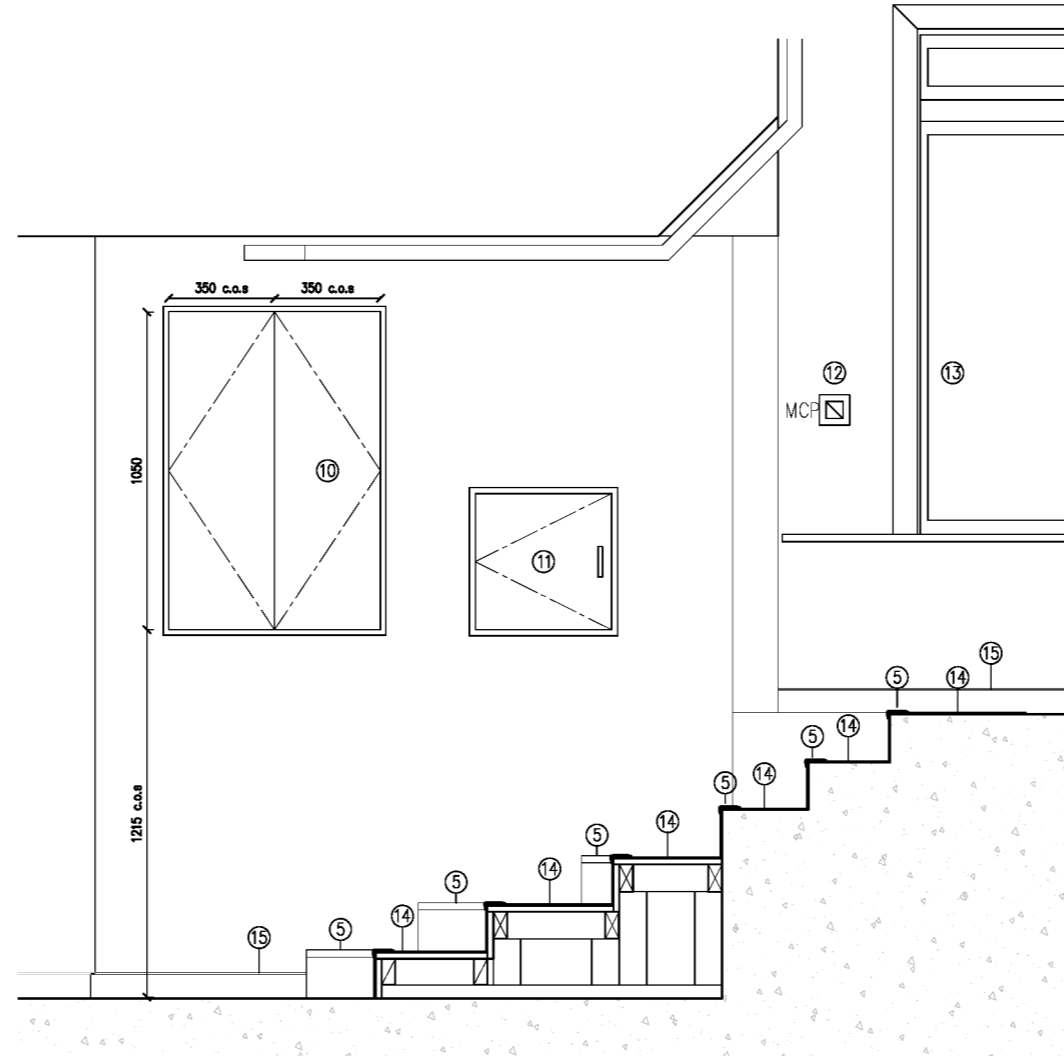
Wellington City Council
22 February 2022



01 CROPPED STAIR PLAN
1:25



02 STAIR SECTION AA
1:25



03 STAIR SECTION BB
1:25

ADDITIONAL NOTES

- ① Area adjacent to staircase to be framed out to create plinth space with painted dressed pine top. Exposed faces to be lined with Gib Plasterboard as per the wall notes and decorated as per the Finishes Plans.
- ② Glazing suite to be installed above Back Bar upstand and underside of the plasterboard ceiling above. Refer to Cross Sections and Detail Documentation for more information.
- ③ Timber framed wall to underside of lower seated area plasterboard ceiling above.
- ④ Fabricated handrail with LED lighting strip built into handrail. Handrail is to extend 300mm past the top step and turn around the built out plinth. Refer to Detail Documentation and SOW Document for more information.
- ⑤ Nosings to be installed on all stairs and around the top of the stairs as indicated in the Plan Drawing. To be Tredsafe AA125 nosing with black grip insert. Refer to Finishes Plans for more information.
- ⑥ Return timber wing wall to be framed to underside of lower seated area FCH and have perimeter MDF closer installed that gets plastered and painted as part of the decorating works. Refer to the Finishes Plans for more information.
- ⑦ Timber steps to be rebuilt with H1.2 timber and plywood substrate for the flooring. Contractor to frame up stairs to suit the Architectural Documentation using 90x45 framing with DPC between all timber and concrete junctions.
- ⑧ Existing electrical board to be upgraded as required based on Electrician's assessment.
- ⑨ Full height timber framed cavity to be built around the electrical board to conceal it. To be built in accordance with the Wall Notes and decorated in accordance with the Finishes Plans.
- ⑩ D.G.6. new 18mm double joinery doors to access the electrical board. Opening width to suit width of electrical board. To be in accordance with the Detail Documentation and SOW Document.
- ⑪ Existing Fire Hose Reel (FHR).
- ⑫ Existing Manual Call Point (MCP).
- ⑬ All existing windows frames are to be re-decorated. Refer to Finishes Plans for more information.
- ⑭ New flooring is to be installed on treads and risers of the Staircase. Refer to Finishes Plans for selections.
- ⑮ Dressed timber skirtings along all new walls. Refer to Detail Documentation and Wall Notes for more information.

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

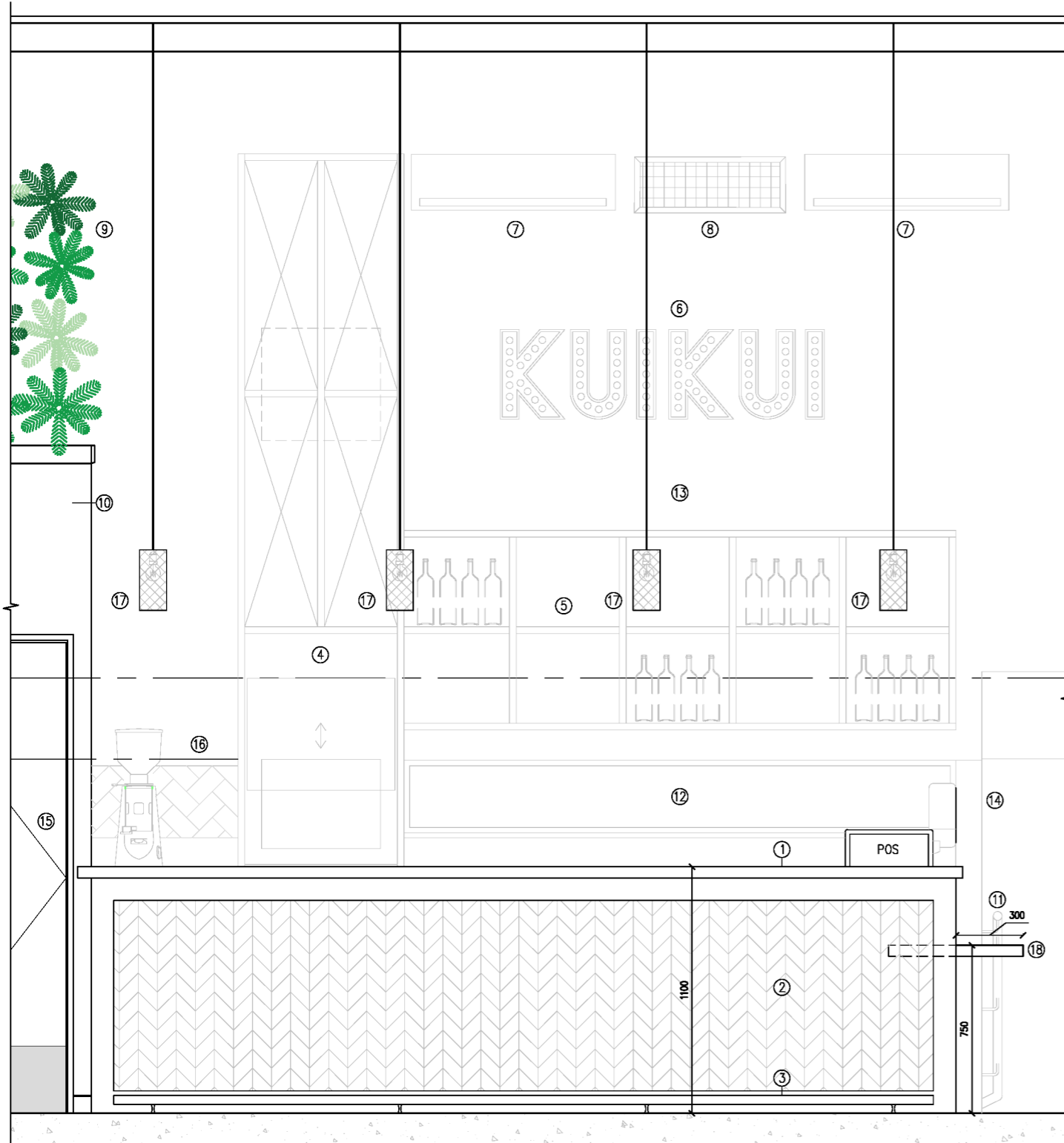
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PROPOSED STAIRCASE DRAWINGS SHEET ONE

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:25 ©A3
Drawing No: Rev:

A-500 0

Wellington City Council
22 February 2022

WCC Approved plans SR482375 : 12/05/2021 A copy must be kept on site



01 FRONT BAR ELEVATION
1:25

Wellington City Council
22 February 2022

ADDITIONAL NOTES

- ① Main bar top. To be a slab of varnished natural timber. To be secured to the timber framed nib wall and return wall beneath which is securely bolted to the concrete slab.
 - ② Front of bar to have feature linings installed. Lining selection to be confirmed by client prior to construction.
 - ③ Floor mounted foot rail to be installed in front of bar once floor coverings have been installed. Finish to be confirmed prior to construction.
 - ④ Dumbwaiter from Prep Area to Back Bar Unit. Dumbwaiter is to be a drum wound unit with an exposed powder coated SHS 30x30 steel frame with powder coated sheet metal shaft. Front face of shaft is to sleeve into main frame and be bolted together once dumbwaiter componentary is installed. To be secured to the back wall and scribed to suit the Back Bar bench top profile. To have vertical sliding door at the Back Bar. To have hinged door at the Prep Area.
 - ⑤ Above bench open shelving to be installed. To be fabricated with powdercoated SHS 30x30 steel frame and glass shelves. To be secured to the wall – contractor to allow to install additional blocking as required. Shelving to have LED strip lighting – contractor to allow to wire LED strip lighting – extent of lighting to be confirmed prior to construction.
 - ⑥ Indicative location of feature bar signage. Signage to be confirmed by Client.
 - ⑦ Location of high wall heat pump unit. Refer to Reflected Ceiling Plans and Advanced Building Services Documentation for more information.
 - ⑧ Location of high level fresh air supply grille. Refer to Reflected Ceiling Plans and Advanced Building Services Documentation for more information.
 - ⑨ Faux vertical green wall to be installed above Bathroom Pod with nib wall as substrate. Refer to Detail Documentation for more information.
 - ⑩ Bathroom Pod. To be framed up in accordance with the Plans and Sections of the area. To be lined with Gib plasterboard as noted on within the Wall Notes and decorated in accordance with the Finishes Plans.
 - ⑪ Fabricated handrail. Refer to Staircase Documentation for more information.
 - ⑫ Glazing suite to be installed above Back Bar upstand and underside of the plasterboard ceiling above. Refer to Cross Sections and Detail Documentation for more information.
 - ⑬ Existing wall to be patched and plastered as required. To be decorated in accordance with the Finishes Plans.
 - ⑭ Nib wall adjacent to back bar. Refer to Plans for more information.
 - ⑮ D.G.3. New solid core door with dressed timber jambs to the Lobby.
- Refer to SOW Document for hardware requirements.
- ⑯ Feature tiled wall area. To have dado top cap installed. Refer to Finishes Plans for extent and more information.
 - ⑰ Feature pendant ceiling light. Refer to Proposed Reflected Ceiling Plans (RCPs) for more information.
 - ⑱ Retractable accessible counter to be inbuilt into the return wall on the Bar. To be at heights in compliance with NZS 4121.

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All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21

Project
KUIKUI GIN BAR

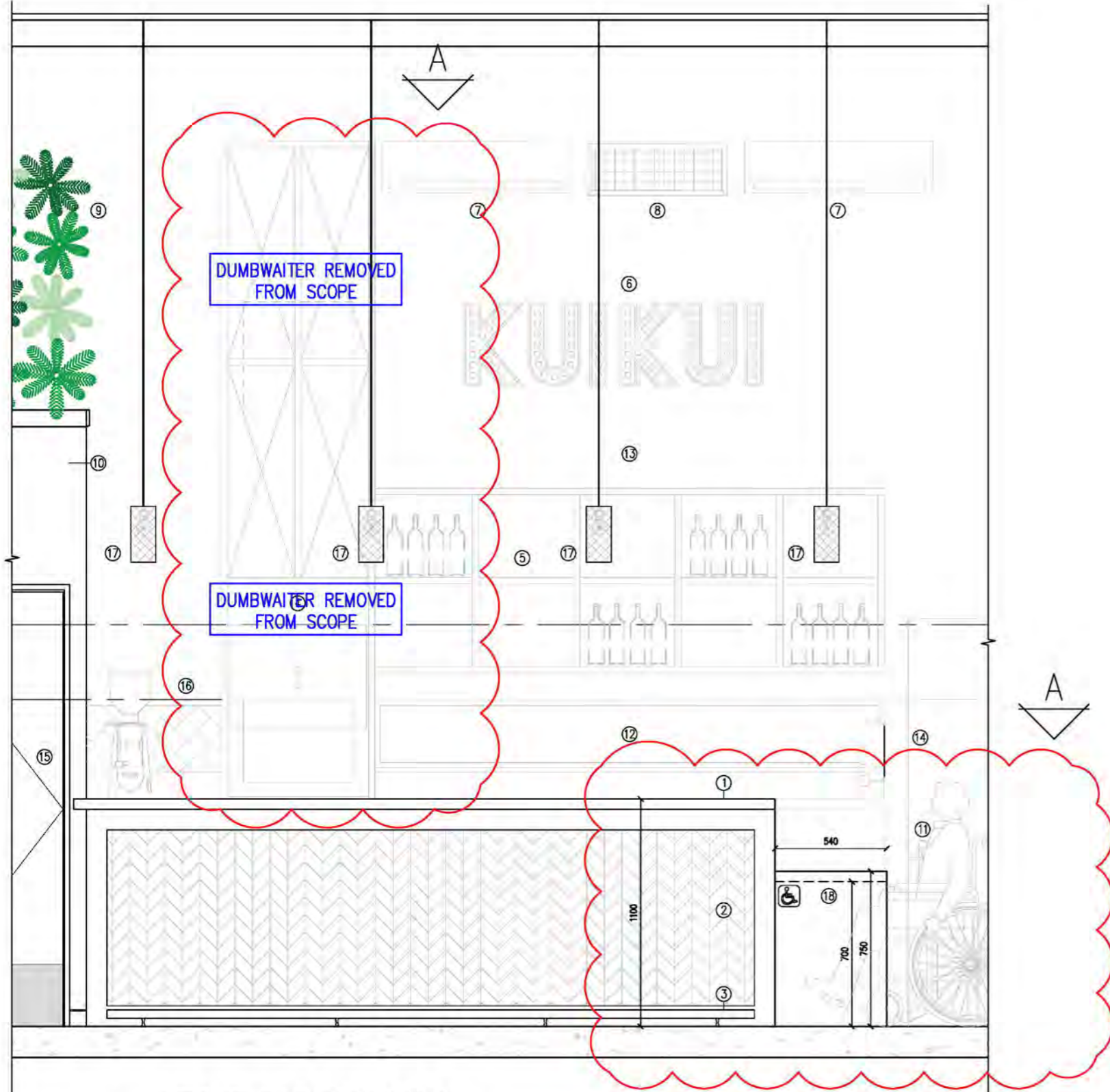
TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
FRONT BAR
DOCUMENTATION
SHEET ONE**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:25 @A3
Drawing No: Rev:

A-501 0

All dimensions to be checked on site before commencing work



01 FRONT BAR ELEVATION
1:25

Wellington City Council
22 February 2022

ADDITIONAL NOTES

- ① Main bar top. To be a slab of varnished natural timber. To be secured to the timber framed nib wall and return wall beneath which is securely bolted to the concrete slab.
- ② Front of bar to have feature linings installed. Lining selection to be confirmed by client prior to construction.
- ③ Floor mounted foot rail to be installed in front of bar once floor coverings have been installed. Finish to be confirmed prior to construction.
- ④
- ⑤ Above bench open shelving to be installed. To be fabricated with powdercoated SHS 30x30 steel frame and glass shelves. To be secured to the wall – contractor to allow to install additional blocking as required. Shelving to have LED strip lighting – contractor to allow to wire LED strip lighting – extent of lighting to be confirmed prior to construction.
- ⑥ Indicative location of feature bar signage. Signage to be confirmed by Client.
- ⑦ Location of high wall heat pump unit. Refer to Reflected Ceiling Plans and Advanced Building Services Documentation for more information.
- ⑧ Location of high level fresh air supply grille. Refer to Reflected Ceiling Plans and Advanced Building Services Documentation for more information.
- ⑨ Faux vertical green wall to be installed above Bathroom Pod with nib wall as substrate. Refer to Detail Documentation for more information.
- ⑩ Bathroom Pod. To be framed up in accordance with the Plans and Sections of the area. To be lined with Gib plasterboard as noted on within the Wall Notes and decorated in accordance with the Finishes Plans.
- ⑪ Fabricated handrail. Refer to Staircase Documentation for more information.
- ⑫ Glazing suite to be installed above Back Bar upstand and underside of the plasterboard ceiling above. Refer to Cross Sections and Detail Documentation for more information.
- ⑬ Existing wall to be patched and plastered as required. To be decorated in accordance with the Finishes Plans.
- ⑭ Nib wall adjacent to back bar. Refer to Plans for more information.
- ⑮ D.G.3. New solid core door with dressed timber jambs to the Lobby.

Refer to SOW Document for hardware requirements.

⑯ Feature tiled wall area. To have dado top cap installed. Refer to Finishes Plans for extent and more information.

⑰ Feature pendant ceiling light. Refer to Proposed Reflected Ceiling Plans (RCPs) for more information.

⑱ Fixed Accessible Counter to be at the end of the Bar. To be fabricated joinery – finishes to be confirmed. To be built at heights in compliance with NZS 4121 – (figure 36 & figure 37).

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22.01.21
A	ISSUED FOR BUILDING CONSENT RFI – ACCESSIBLE COUNTER REVISED	28.04.21

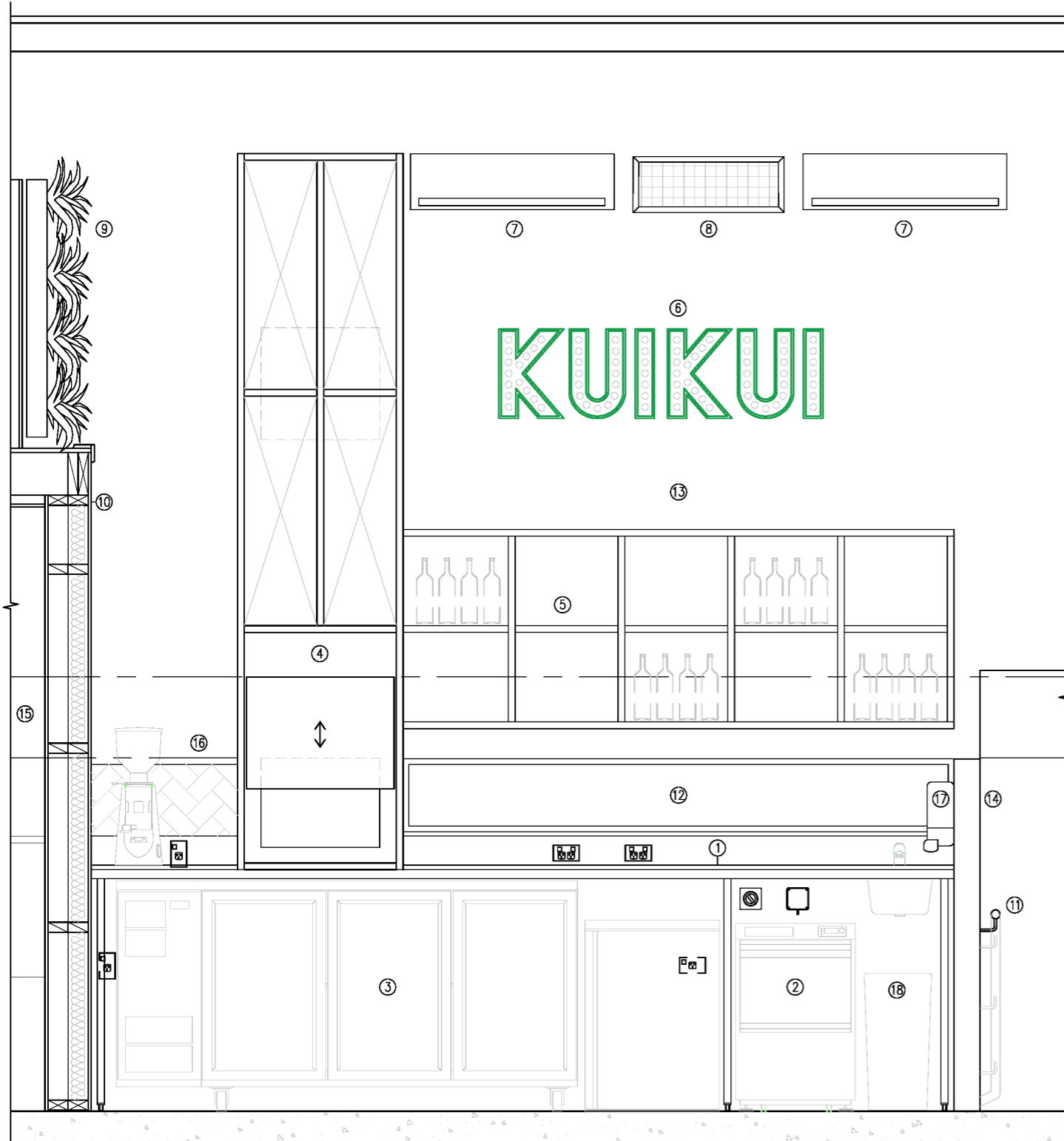
Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
PROPOSED FRONT BAR DOCUMENTATION SHEET ONE

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: 1:25 ©A3
Drawing No: Rev:

A-501 A



01 BACK BAR ELEVATION
1:25

Wellington City Council
22 February 2022

ADDITIONAL NOTES

- ① Back bar stainless steel unit to be installed. Refer to Southern Hospitality Documentation for requirements. Dimensions of unit are to be confirmed on site prior to fabrication.
- ② Glass washer unit to be installed under back bar. Refer to Southern Hospitality Documentation.
- ③ Under bench back bar drinks fridge to be installed. Refer to Southern Hospitality Documentation.
- ④ Dumbwaiter from Prep Area to Back Bar Unit. Dumbwaiter is to be a drum wound unit with an exposed powder coated SHS 30x30 steel frame with powder coated sheet metal shaft. Front face of shaft is to sleeve into main frame and be bolted together once dumbwaiter componentary is installed. To be secured to the back wall and scribed to suit the Back Bar bench top profile. To have vertical sliding door at the Back Bar. To have hinged door at the Prep Area.
- ⑤ Above bench open shelving to be installed. To be fabricated with powdercoated SHS 30x30 steel frame and glass shelves. To be secured to the wall – contractor to allow to install additional blocking as required. Shelving to have LED strip lighting – contractor to allow to wire LED strip lighting – extent of lighting to be confirmed prior to construction.
- ⑥ Indicative location of feature bar signage. Signage to be confirmed by Client.
- ⑦ Location of high wall heat pump unit. Refer to Reflected Ceiling Plans and Advanced Building Services Documentation for more information.
- ⑧ Location of high level fresh air supply grille. Refer to Reflected Ceiling Plans and Advanced Building Services Documentation for more information.
- ⑨ Faux vertical green wall to be installed above Bathroom Pod with nib wall as substrate. Refer to Detail Documentation for more information.
- ⑩ Bathroom Pod. To be framed up in accordance with the Plans and Sections of the area. To be lined with Gib plasterboard as noted on within the Wall Notes and decorated in accordance with the Finishes Plans.
- ⑪ Fabricated handrail. Refer to Staircase Documentation for more information.
- ⑫ Glazing suite to be installed above Back Bar upstand and underside of the plasterboard ceiling above. Refer to Cross Sections and Detail Documentation for more information.
- ⑬ Existing wall to be patched and plastered as required. To be decorated in accordance with the Finishes Plans.
- ⑭ Nib wall adjacent to back bar. Refer to Plans for more information.
- ⑮ Unisex Bathroom. Refer to Bathroom Specific Drawings for more information.
- ⑯ Feature tiled wall area. To have dado top cap installed. Refer to Finishes Plans for extent and more information.
- ⑰ Client supplied Soap dispenser at wash hand basin.
- ⑱ Client supplied below bar bin.

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All dimensions to be checked on site before commencing work

Rev #	Description	Date
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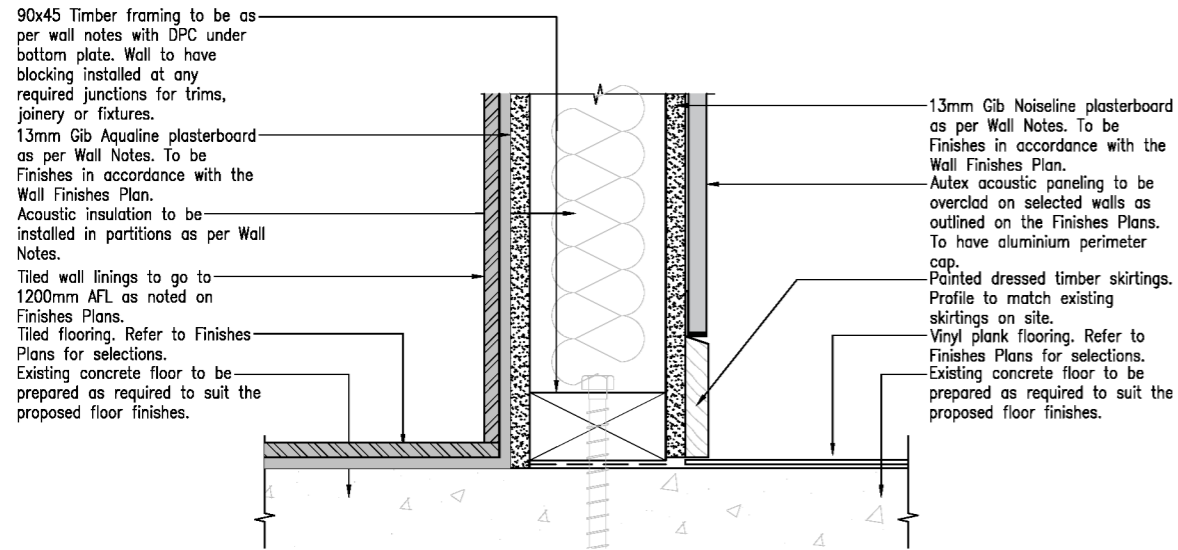
Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

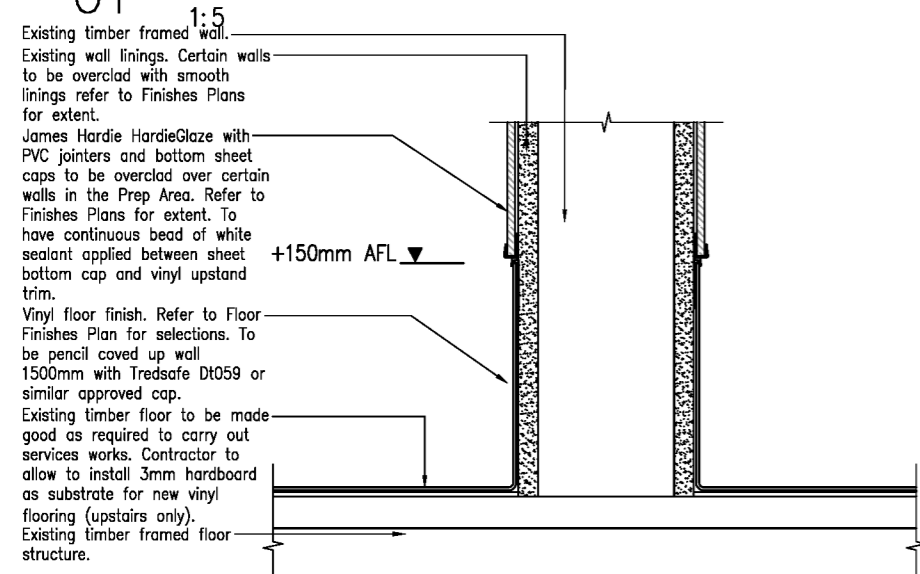
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SHEET ONE**

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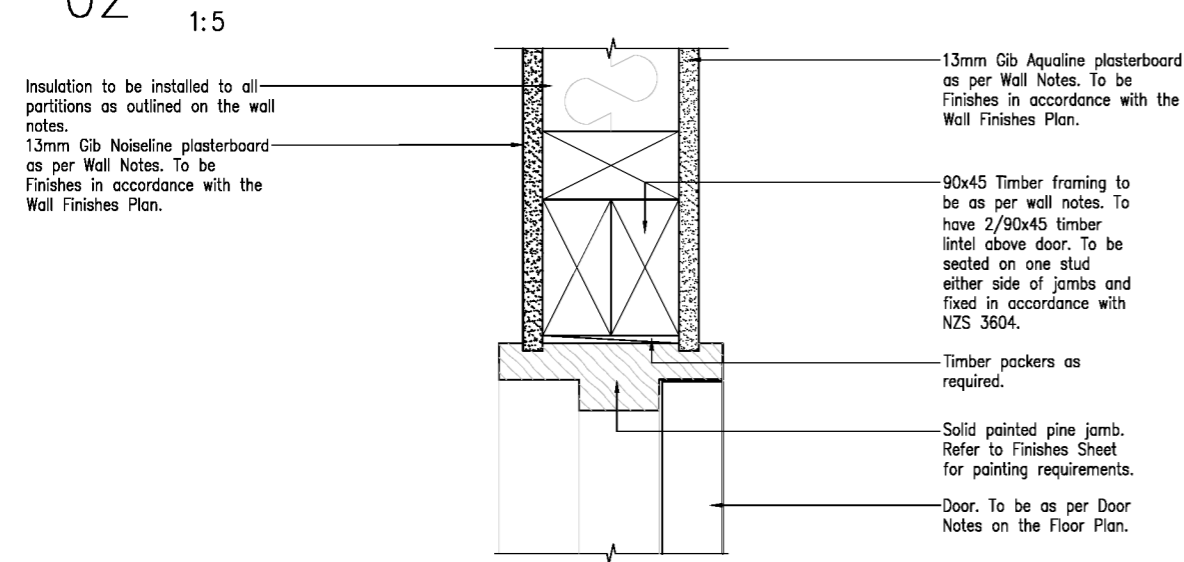
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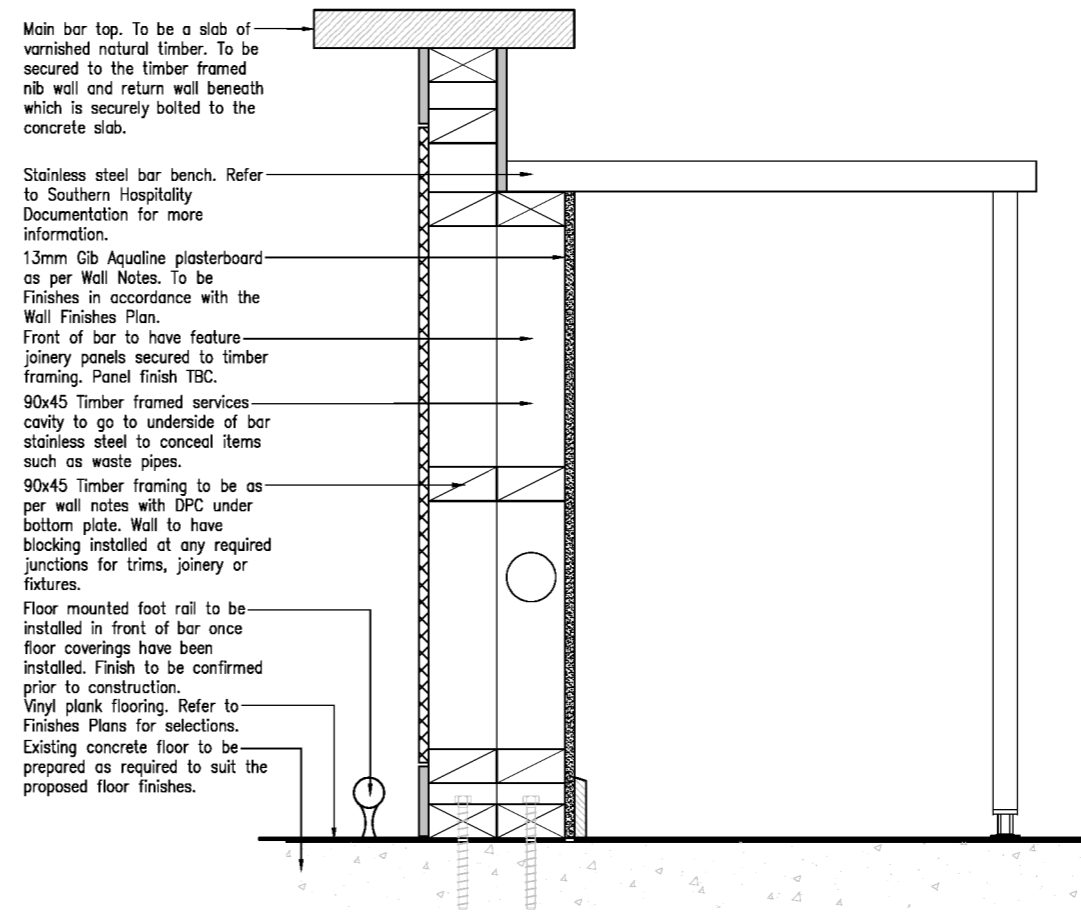
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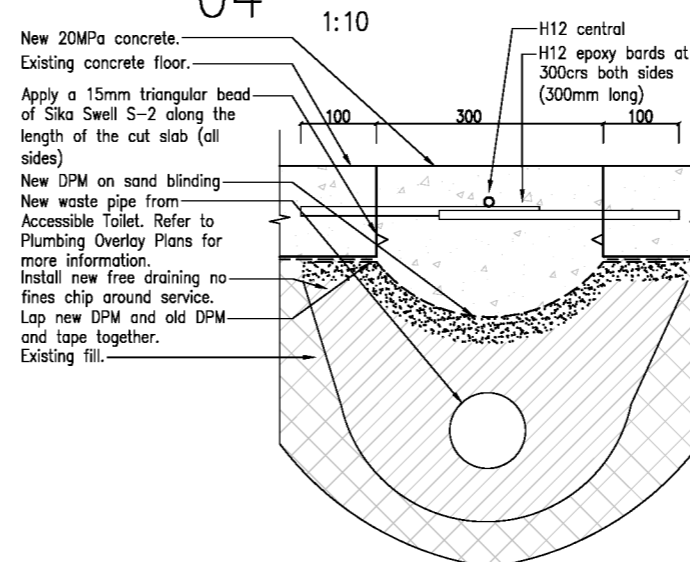
02 VINYL-HARDIEGLAZE WALL DETAIL



03 TYPICAL DOOR HEAD DETAIL



04 BAR CROSS SECTION



05 TYPICAL SLAB MAKE GOOD

All dimensions to be checked on site before commencing work

Rev #	Description	Date
0	ISSUED FOR BUILDING CONSENT	22/01/21

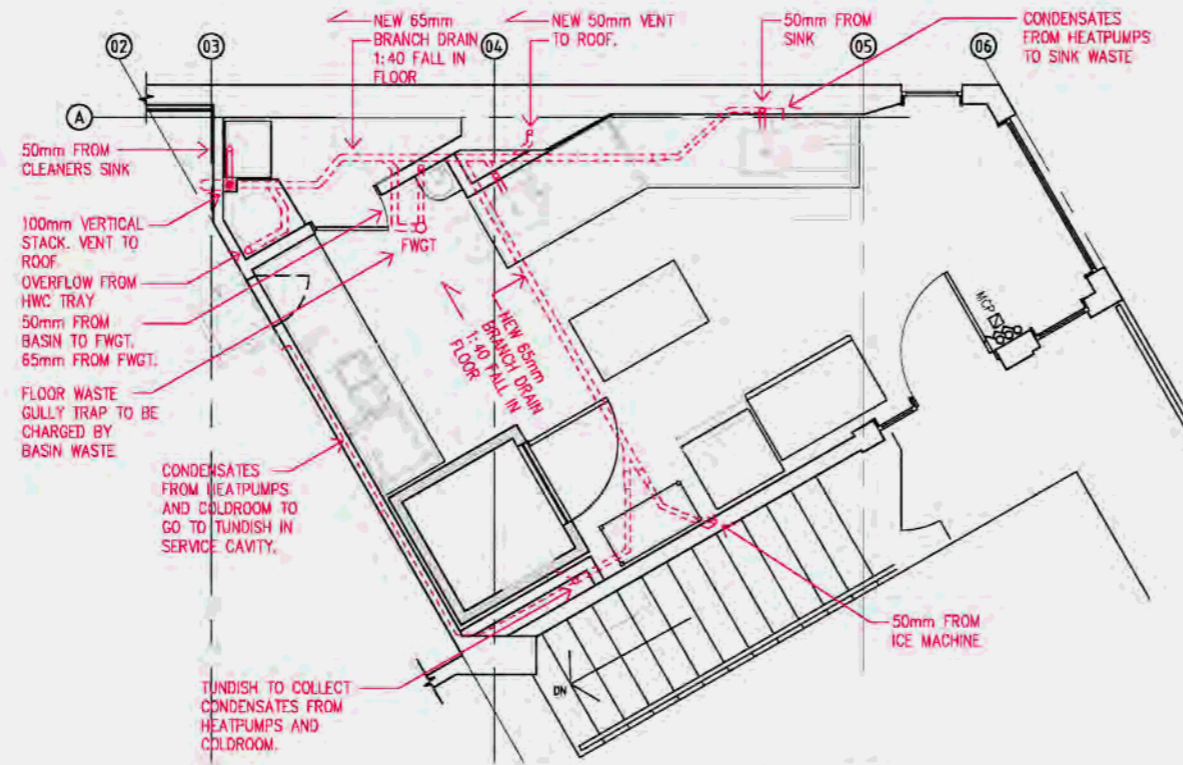
Project
KUIKUI GIN BAR
 TENANCY 6,
 118 VICTORIA ST,
 WELLINGTON.

Title:
**PROPOSED
 DETAILS
 SHEET ONE**

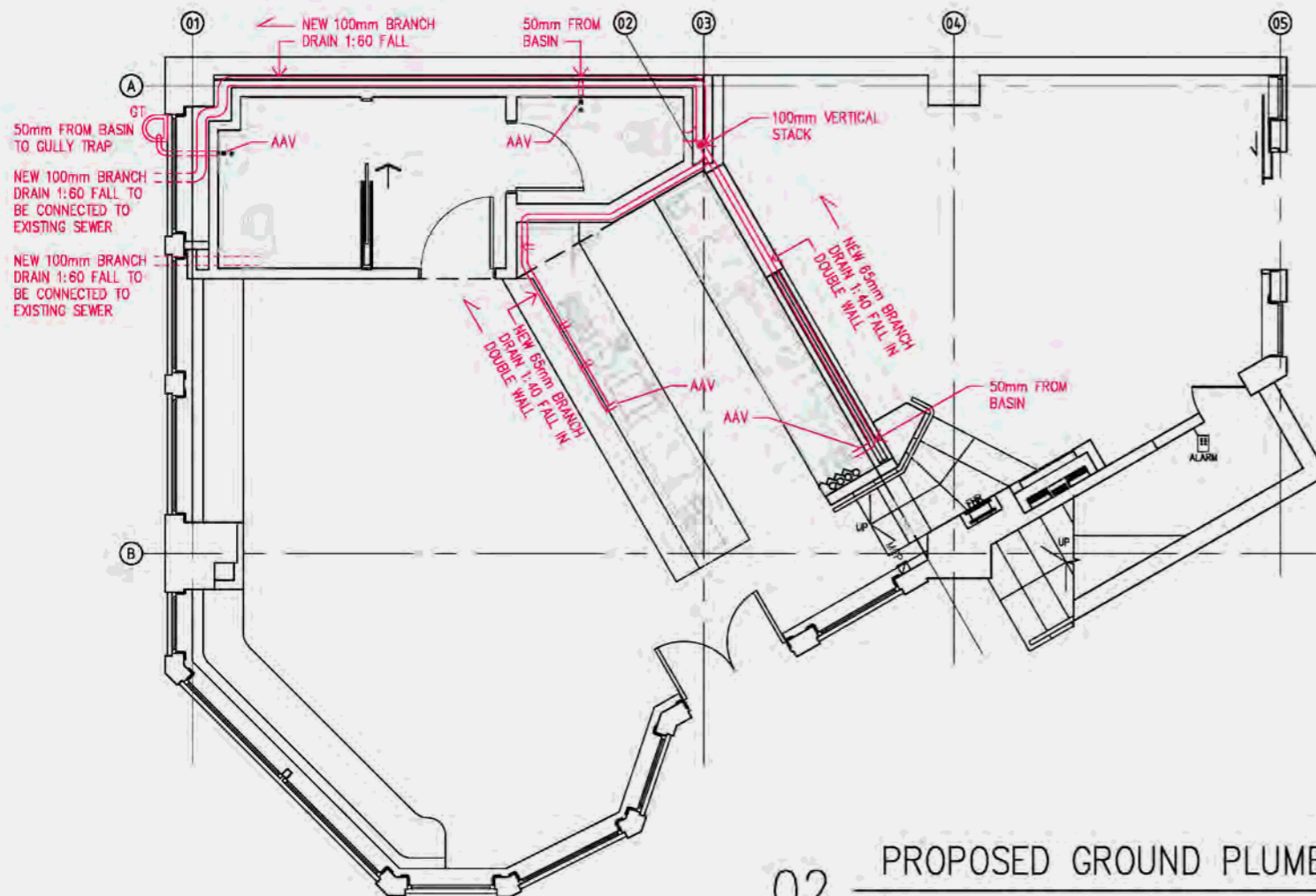
Folder: 202071
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 Date: JANUARY 2021
 Scale: AS SHOWN @A3
 Drawing No: Rev:

A-600 0

Wellington City Council
22 February 2022



01 PROPOSED MEZZ. PLUMBING OVERLAY
NTS



02 PROPOSED GROUND PLUMBING OVERLAY
NTS

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

All dimensions to be checked on site prior to any work commencing.

These drawings are to be read in conjunction with the Scope Of Works Document, Specifications and Consultant's Packages.

PLUMBING DRAINAGE NOTES

Plumbing and Drainage to be carried out in accordance with ASNZS3500.2-2018 and other relevant NZ Building Code Clauses and Standards.

Plumber to confirm location of existing Council waste lateral in the Edward Street Laneway on site.

The purpose of this schematic is to understand the plumbing fixtures within the tenancy and is not a Construction Drawing.

Cold water pipe work to be Polybutylene. Refer to Architectural Specification.

Hot water pipes are to be copper.

Concealed waste pipes are to be uPVC.

Penetrations through fire rated walls or the exterior building envelope are to have the appropriate collars, boots or sealant installed in accordance with the Fire Report and the New Zealand Building Code.

This schematic does not depict the condensate drains coming from the heat pump units. Plumbing Contractor and Mechanical Contractor are to coordinate the routing of these on site.

Refer to the plumbing selections table for fixtures and fittings on sheet A-801 in conjunction with the Architectural Specification.

Also refer to the Southern Hospitality drawings for the specific drainage requirements associated with the Prep Area benches and the plumbing fixtures in the Front and Back Bars.

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Rev #	Description
0	ISSUED FOR BUILDING CONSENT

Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
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Title:
PROPOSED PLUMBING OVERLAYS

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: NTS @A3
Drawing No: Rev:

A-800 0

Wellington City Council
22 February 2022

PLUMBING FIXTURES AND FITTINGS

Accessible Bathroom:	
Toilet:	American Standard Cygnet overheight hygiene rim vitreous china toilet suite. In compliance with NZS4121.
Basin:	Caroma Faun wall hung vitreous china wash hand basin. To have 1 x tap hole for mixer. To be fitted with Caroma Eco bottle trap.
Basin Mixer:	Accessibly compliant basin mixer with extended lever. Selection TBC.
Toilet Roll Holder:	TBC.
Grab Rail:	750mm x 750mm proprietary accessible handrail mounted in accordance with NZS4121.
Soap Dispenser:	Tork. To be supplied by Client installed by Contractor.
Paper Towel Dispenser:	Tork. To be supplied by Client installed by Contractor.
Unisex Bathroom:	
Toilet:	American Standard Cygnet hygiene rim vitreous china toilet suite.
Basin:	Caroma Faun wall hung vitreous china wash hand basin. To have 1 x tap hole for mixer. To be fitted with Caroma Eco bottle trap.
Basin Mixer:	Selection TBC.
Toilet Roll Holder:	TBC.
Soap Dispenser:	Tork. To be supplied by Client installed by Contractor.
Paper Towel Dispenser:	Tork. To be supplied by Client installed by Contractor.

GENERAL NOTES

All works shown or implied to be carried out in strict accordance with the New Zealand Building Code.

All public safety orientated fixtures and fittings, including fire detection and suppression devices, signage, lighting, egress ways to remain fully operational throughout the duration of the fit out. Refer to Spencer Holmes Fire Report.

All electrical work to be carried out in accordance with the NZBC and Local Body requirements.

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PLUMBING DRAINAGE NOTES

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Plumber to confirm location of existing Council waste lateral in the Edward Street Laneway on site.

The purpose of this schematic is to understand the plumbing fixtures within the tenancy and is not a Construction Drawing.

Cold water pipe work to be Polybutylene. Refer to Architectural Specification.

Hot water pipes are to be copper.

Concealed waste pipes are to be uPVC.

Penetrations through fire rated walls or the exterior building envelope are to have the appropriate collars, boots or sealant installed in accordance with the Fire Report and the New Zealand Building Code.

This schematic does not depict the condensate drains coming from the heat pump units. Plumbing Contractor and Mechanical Contractor are to coordinate the routing of these on site.

Refer to the plumbing selections table for fixtures and fittings on sheet A-801 in conjunction with the Architectural Specification.

Also refer to the Southern Hospitality drawings for the specific drainage requirements associated with the Prep Area benches and the plumbing fixtures in the Front and Back Bars.

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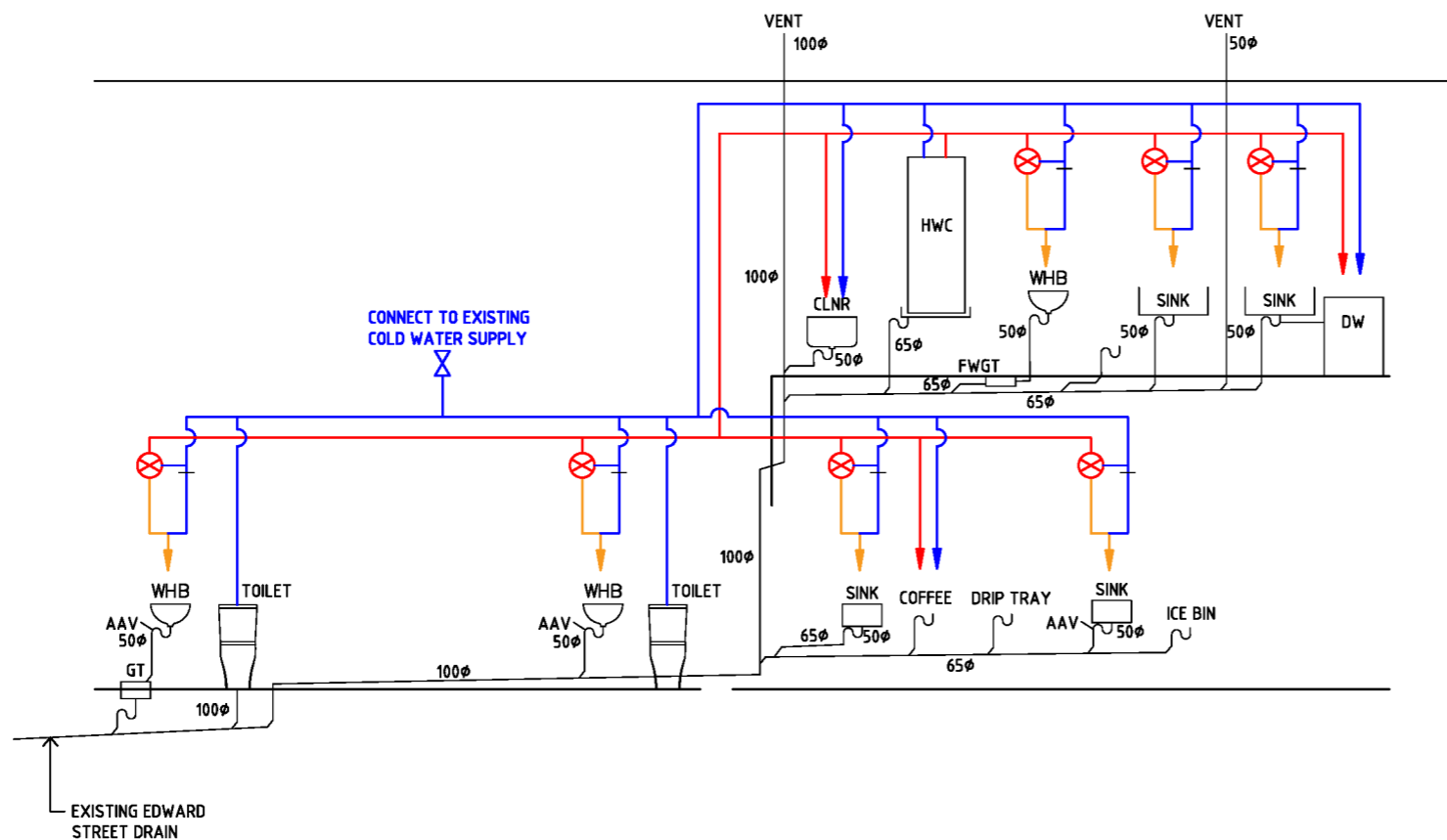
Project
KUIKUI GIN BAR

TENANCY 6,
118 VICTORIA ST,
WELLINGTON.

Title:
**PROPOSED
PLUMBING
SCHEMATIC**

Folder: 202071
Design:
Drawn:
Date: JANUARY 2021
Scale: NTS @A3
Drawing No: Rev:

A-801 0



01 PLUMBING SCHEMATIC
NTS