

Housing Choice & Supply – Draft Amendments to the District Plan

(Additions shown in underline, deletions are shown as ~~strikethrough~~)

1. Include 2 new definitions as follows (Chapter 3: Definitions):

RETIREMENT VILLAGES: are comprehensive residential developments that provide accommodation for aged people, are defined as a retirement village in s6 of the Retirement Villages Act 2003 and may also include recreation, leisure, welfare and medical facilities (including hospital care) and other ancillary non-residential activities.

SUPPORTED CARE FACILITY: provide accommodation and full-time care for aged or disabled people and are registered under the Health and Disability Services (Safety) Act 2001 and comply with the Health and Safety Sector Disability Standards 2001. It includes ancillary nursing and medical care.

2. Amend Introduction in Chapter 4.1 as follows:

4.1 Introduction

Although Wellington was occupied by Maori for generations before colonial times, little physical evidence now remains of traditional Maori settlement patterns.

The Residential Areas of Wellington City are characterised by low-rise single dwelling houses on individual lots. Marked variations exist in the character of particular neighbourhoods or suburbs. Past planning policies have combined with historical and geographic factors to determine residential character. Patterns of residential development range from the more intensive and densely populated inner city areas developed from the early days of colonial settlement through to modern subdivisions designed for the motor vehicle.

Set amongst the Residential Areas are areas of Open Space, Centres, Business Areas, Institutional Precincts and Conservation Sites. It is the combination of the character of these different areas combined with the topography and natural environment that gives different parts of the City their different character.

Wellington City maintains a wider policy of containment and general intensification of suburban development. To this end the plan anticipates that the majority of residential growth will be located within the existing urban area, with only limited provision for new ‘greenfield’ residential development.

Greater housing choice and supply is required in the Residential Areas to support changing housing needs resulting from diverse household structures, decreasing household size and an aging population. The plan provisions enable a wide range of housing options to cater for changes in how people choose to live.

For the purpose of the District Plan, three residential areas have been identified: Medium Density Residential Areas, Inner Residential and the Outer Residential Areas. Collectively, these zones provide for housing choice as they enable a variety of dwellings at different densities.

Medium Density Residential Areas are defined areas surrounding existing town centres and/or on main transport spines, and include parts of Kilbirnie, ~~and~~ Johnsonville, Karori and Tawa. In these areas high quality comprehensive redevelopment of housing will be encouraged and facilitated, resulting in moderate to significant increases in residential density. These increases in density are likely to result in changes to the existing character and scale of buildings in these areas. Rather than seeking to maintain the existing character of these areas, the plan provisions seek to ensure that new development is of high quality, both in terms of the impact on townscape character and the level of amenity afforded to residents. ~~The Medium Density Residential Areas include parts of Kilbirnie and Johnsonville.~~

The Inner Residential Area adjoins the Central Area and is generally contained by the Inner Town Belt. Most dwellings in the area were built around 1900 and development is intensive, with higher population densities than the Outer Residential Areas. Compared with the Outer Residential Area, there are more multiple units – often created by division of existing houses, and fewer family households. Its nineteenth century character and advantages of living close to the central city have made this area an attractive and popular location.

The Inner Residential Area also provides a backdrop to the central city. The concentration of buildings built at the turn of the last century, the hilly topography and the inner townbelt form a striking combination that contributes to Wellington's unique sense of place. In recognition of this, the plan manages the demolition of pre-1930 buildings in much of the Inner Residential Area in order to maintain townscape character.

Also within the Inner Residential Area are properties fronting Oriental Parade which have higher maximum building heights. In recognition of their capacity for medium to high rise residential development, and given the area's setting in close proximity to the central city and waterfront which provide high levels of amenity. A design guide applies within the Oriental Bay Height Area in recognition of the area's unique development potential, high visibility, and public/private character. Council seeks to ensure that new building works enhance the existing character and amenity values of the area.

The Outer Residential Area contains the remaining suburbs, from the Inner Town Belt to the boundary of the Rural Areas. In the Outer Residential Area, houses are usually located on larger sections and developments are more spacious. Residential character varies depending on the type of landform and the extent of vegetation. Most non-residential activities in the area are of a type that directly service local residents.

In both the Inner and Outer Residential Areas new development will be provided for in a manner that will maintain existing character and respect the amenity of adjacent properties. Council's approach in Residential Areas is to permit typical residential activities and to assess others on a controlled or discretionary basis. This is considered necessary to protect the character and amenities of Residential Areas. The intention is to make specific development standards as flexible as possible to encourage appropriate development opportunities that do not harm the amenities of the area.

Within the Outer Residential Area is the Residential Coastal Edge. This area, which includes the pockets of residential development located along the coast from Evans Bay to the south coast, has a unique character that contributes to Wellington City's sense of place and provides an important visual amenity for local residents and the public generally. Specific rules have been included in the Plan to protect this special character. A design guide also applies within the Residential Coastal Edge to acknowledge the fundamental character attributes of the area and to provide guidance for multi-unit and infill development.

Within the Inner and Outer Residential Areas there are pockets that have been identified as Heritage Areas in recognition of their having special architectural, townscape or heritage values. These areas are subject to the specific controls contained in the Heritage Chapters of the District Plan.

Permitted Activities are those which are typically undertaken in Residential Areas and allow these areas to remain the primary living environments of the city. Permitted Activities will be closely monitored to ensure that character or amenity standards are not reduced to any significant extent.

Controlled Activities are those which are also compatible within Residential Areas (such as the use of vacant non-residential premises) but which should be assessed to ensure that the amenities, particularly those of nearby properties, are protected.

Residential activities or developments which cannot be categorised as Permitted or Controlled Activities may be considered as Discretionary Activities, including the establishment of non-residential activities.

Residential Areas also accommodate non-residential uses. Many activities operate from existing houses or from purpose-built buildings in Residential Areas. Many of these activities provide essential community services including shops, churches, marae, schools, service stations, early childhood centres, kohanga reo and doctors' surgeries. In some areas, activities such as hospitals, parks or motels have been established to serve wider city or regional populations. Non-residential activities are generally appropriate provided they do not give rise to incompatible adverse effects.

Council also encourages mixed-use development in Residential Areas. Controls will ensure that residential amenities are reasonably protected. Residential Areas provide the place where most people sleep and enjoy their leisure time, and more peaceful, quieter surroundings are expected. However, it is not the Council's intention to "freeze" all residential neighbourhoods in their current state. A greater diversity of land use will be promoted.

Under the Discretionary Activity process, design guidelines are also used to assess new multi-unit residential developments. Council seeks to promote a consistently high standard of design for new multi-unit housing.

Given the City's topography, constrained roads and access in places, improving accessibility and the consequent amenity values within Residential Area is an important issue. This is a particularly important issue for people with mobility restrictions and for the City's increasing population of older people. The Council will actively seek to improve the proportion of all housing in the City that is, or can be made, accessible and usable, by older people and all others with mobility restrictions.

Council is exercising its responsibilities under the Act by including provisions to manage noise and hazardous substances and contaminated sites and to avoid, remedy or mitigate the adverse effects of natural hazards. Examples include provisions for noise mitigation in or near the port and airport and controlling residential development near high voltage transmission lines or near the Wellington fault line, and on or near former landfills.

3. Amend Objective 4.2.1 as follows:

OBJECTIVE - CONTAINMENT AND INTENSIFICATION

4.2.1 To enhance the City's natural containment, accessibility and residential amenity by promoting the efficient use and development of natural and physical resources in Residential Areas.

POLICIES

To achieve this objective, Council will:

4.2.1.1 Encourage consolidation of the established urban area.

4.2.1.1A Encourage greater housing choice and supply.

METHODS

- Rules
- Operational activities (management of infrastructure)
- The Urban Development Strategy

The edge of the urban area of the city is defined by the interface between the Outer-Residential Area and nearby Rural and Open Space Areas. The Plan generally intends to contain new development within the existing urban area, as it considers that continuously expanding the City's edges will not promote sustainable management.

Expansion beyond the existing urban form will only be considered where it can be demonstrated that the expansion:

- *will promote an efficient urban form*
- *will support sustainable transport options*

Any proposal will also be expected to demonstrate that:

- *the expansion will allow for efficient use of existing infrastructure*
- *there is sufficient redundant capacity within existing infrastructure to support the expansion*

- *the expansion will incorporate low impact urban design, low impact subdivision and facilitates energy efficient building design*

Council will also consider the potential impact of any expansion on the character of existing communities, and on landscape and natural values.

The Plan provides for a degree of expansion into the Greenfield areas at the northern edge of the city, where the growth can reinforce existing transport infrastructure and strengthen existing communities (see Chapters 27 & 28).

Residential intensification will be encouraged in Medium Density Residential Areas. The Medium Density Residential Areas are located around existing town centres and on key transport routes. Within these areas Council will seek to facilitate comprehensive re-development to provide medium density residential living.

In the Inner and Outer Residential Areas there is scope for some degree of residential intensification, but the plan seeks to ensure that new development is compatible with existing character and respects the amenity of surrounding residential properties.

Adopting rules to encourage more mixed-use activities and provide for more intensive building development (that maintains or enhances neighbourhood and townscape residential character) will help keep the city compact.

Across the three residential zones (Inner Residential, Outer Residential, and Medium Density Residential Areas), provisions encourage more diversity of housing stock to provide for changing household needs.

The environmental results will be that the City's development occurs in a manner which will reduce transport distances, make public transport systems more viable, support existing centres and make better use of existing infrastructure.

Medium Density Residential Areas

4.2.1.2 Encourage residential intensification and comprehensive redevelopment within Medium Density Residential Areas

4.2.1.3 Discourage piecemeal development in Medium Density Residential Areas when this would inhibit comprehensive redevelopment of the site or surrounding area

4.2.1.4 ~~Promote~~ Encourage greater housing choice by promoting the provision of a variety of household types and sizes as part of new development within Medium Density Residential Areas

METHODS

- Rules
- Operational activities (management of infrastructure)
- The Urban Development Strategy

Medium Density Residential Areas are tightly defined residential areas where high quality medium density housing will be actively encouraged. These areas are located surrounding the existing town centres of Johnsonville, ~~and~~ Kilbirnie, Tawa and Karori where the benefits of higher density residential development will be greatest. Intensification within these areas will allow efficient use of existing infrastructure, support existing services and facilities, provide greater housing choice and allow people to live close to jobs and close to public transport.

Within Medium Density Residential Areas comprehensive redevelopment of housing will be encouraged and facilitated. This will result in significant increases in the residential density of these areas, and is likely to lead to changes to the existing character. The success of the Medium Density Residential Areas will depend on

achieving high quality housing stock and associated spaces (both public and private). Within the Medium Density Residential Areas, the Plan seeks to achieve:

- Medium density residential development
- High levels of amenity for occupants of new residential developments
- High quality development, both in terms of building design and townscape character
- Variety in the built form (including variation in style, type and scale of buildings)
- Variety in household type (1, 2, 3, and 3+ bedroom units)
- Appropriate levels of protection for neighbouring property's amenity

It is anticipated that these areas will eventually have a more intensive, urban feel. The provisions encourage medium density residential development (2-3 storeys in height) and there is less focus on providing green open space as part of new developments. However, having less open space areas also reduces the ability to use planting to soften the effects of new developments. As a result the quality of the building stock and the spaces that are provided becomes even more important in terms of creating a positive townscape and high levels of amenity for residents. Front yards are required in Medium Density Residential Areas to provide space for planting that can help to 'soften' the visual impact of new building works.

All new multi-unit developments will be assessed against the content of the Residential Design Guide to ensure that the proposed buildings (and associated spaces) make a positive contribution to the local townscape. The assessment against the Residential Design Guide will also allow Council to ensure the new developments will provide satisfactory levels of amenity for occupants.

There is a risk that on-going piecemeal development (and subdivision) in Medium Density Residential Areas will further fragment land ownership and make it more difficult to accumulate parcels of land for comprehensive redevelopment. Council will therefore generally discourage piecemeal, less intensive development and subdivision in Medium Density Residential Areas.

Less intensive development ~~however,~~ such as back yard infill or the conversion of existing dwellings into multiple units, may have a role within Medium Density Residential Areas. ~~particularly~~ This may be appropriate when it can be demonstrated that it represents the most efficient use of the site (for example when a single lot is surrounded by properties that have already been redeveloped or it is determined unviable to carry out new medium density development) and when it helps to add diversity to the housing stock in the area. However, further development will not be supported if it does not represent the most efficient use of the site, other viable forms of development are available, and when it would inhibit future comprehensive redevelopment of the site (and possibly adjoining sites) through the fragmentation of land ownership.

~~Similarly~~ Within the Medium Density Residential Area – Johnsonville 2, Council will generally not support the ~~comprehensive~~ redevelopment of lots that do not meet the specified minimum lot dimension. Due to the historic subdivision patterns in this area Council is concerned that if redevelopment is undertaken based on the existing lot size and pattern, then it will result in the repetition of a single development type (most likely terrace housing orientated at 90 degrees to the street, with a drive way running down one side). While this style of development can work well, the Plan seeks to encourage a variety of development types within Medium Density Residential Areas in order to achieve a diverse, interesting and stimulating built environment. Specifically ~~Requiring~~ a minimum lot dimension in Medium Density Residential Area – Johnsonville 2 will help to achieve variety in the built form, both by creating a variety of lot shapes, and also by providing more scope for different building layouts and better development outcomes. This is reinforced by the requirement for front units to be orientated to face the street, with physical separation to units behind.

The Plan also encourages new development to provide for a range of different housing types, in order to provide for the needs of different segments of the community.

Additional Medium Density Residential Areas may be identified in the future following consultation with local communities. Any future areas will be implemented through the plan change process.

4. Amend Objective 4.2.3 as follows:

OBJECTIVE - URBAN FORM

4.2.3 Ensure that new development within Residential Areas is of a character and scale that is appropriate for the area and neighbourhood in which it is located.

POLICIES

To achieve this objective, Council will:

...

4.2.3.2 Manage Medium Residential Density Areas to ensure that new developments contribute to a high quality, intensive, diverse, and safe residential environment.

METHODS

- Rules
- Residential Design Guide
- Master planning
- Advocacy

All new multi-unit developments in Medium Density Residential Areas will be assessed against the content of the Residential Design Guide to ensure that the proposed buildings (and associated spaces) make a positive contribution to the local townscape.

Council has also put in place a number of planning mechanisms to help ensure quality outcomes in Medium Density Residential Areas ~~of Johnsonville, and Kilbirnie~~. These include ~~a minimum lot dimension~~ site coverage, ~~specific~~ front yards, area specific building recession planes, ~~and~~ open space requirements, building orientation, and in Medium Density Residential Area – Johnsonville 2 a minimum site dimension.

Site coverage is the key mechanism used to manage the density of new development. The site coverage permitted in Medium Density Residential Areas seeks to strike a balance between the proportion of the site occupied by buildings, vehicle parking and manoeuvring spaces, and open space and landscaping. Any proposal that seeks to increase total site coverage will need to demonstrate that the resulting buildings can integrate appropriately into the surrounding townscape, and that the development is not unduly dominated by hard surfacing.

Sub-areas have been identified within the Medium Density Residential Areas for the purpose of delivering different development intensities.

~~Medium Density Residential Area 1 includes all of the land in the Kilbirnie Medium Density Residential Area, and two smaller areas adjacent to the Johnsonville town centre. These areas~~ Medium Density Residential Areas – Kilbirnie and Johnsonville 1, offer ~~very~~ convenient access to the adjacent town centre, and contain a significant number of smaller infill and multi-units creating a relatively intensive urban character. The provisions that apply to these areas seek to facilitate the continuation of these existing patterns. No minimum lot dimensions are required in recognition of the character of existing development and the fragmented subdivision patterns which would inhibit site amalgamation. Similarly there is no request for ground level open space in recognition that these areas are already relatively intensely developed. In this area the emphasis will be on providing quality multi-use areas that can double as both vehicle manoeuvring spaces and useable outdoor space.

~~Medium Density Residential Area 2, which includes the majority of the Johnsonville Medium Density Residential Area,~~ Medium Density Residential Areas – Johnsonville 2, Karori and Tawa provides for a slightly less intense, more suburban style of development. ~~This~~ These areas ~~includes land that is slightly further removed from the town centre~~ have a 'suburban' context, with more existing open space.

Requiring a minimum lot dimensions in the Medium Density Residential Area – Johnsonville 2 provides additional flexibility as to how buildings are massed on site and provides scope for different building forms and layouts. It will also help ensure that buildings can be oriented to face the street and will reduce the number of driveways required. Combined, these requirements will help to ensure that new developments provide scope for informal interaction between private units and the adjacent public spaces, and that the townscape is not overly dominated by vehicle crossings and manoeuvring spaces.

~~In Medium Density Residential Area 2~~ In Medium Density Residential Areas – Johnsonville 2, Karori, and Tawa, ground level open space is required in order to provide space for green planting and helping to help integrate new development into the wider suburban setting. Ground level open space can be provided as either private or shared space. In all cases, the open space shall be of a size, have access to daylight and sunlight, and provide the amenities necessary to meet the day to day needs of the residents. Where shared space is provided, this will be attractive, useable and accessible whilst avoiding loss of privacy or amenity for residents and neighbours.

Front yards are also required in all Medium Density Residential Areas. It is considered important to provide space for greening at the front of the site to help ‘soften’ the impact of the higher density development. In areas with existing street trees or when it can be demonstrated that the softening effect of vegetation can be achieved in another manner, it may be possible to waive the front yard requirement.

Matters to consider when assessing applications for new infill or multi-unit developments within a Medium Density Residential Area include:

- whether the proposal represents an efficient use of the site.
- whether the proposal will facilitate a mixture of housing types within the Medium Density Residential Area.
- the extent to which the proposal fulfils the intent of the Residential Design Guide and Johnsonville Medium Density Residential Area 2 Design Guide.
- the quality of the onsite open space, ensuring it provides the amenities necessary to meet the day to day needs of the residents.
- the extent to which parking, vehicle accessways and manoeuvring areas makes up a significant proportion of the site area and the degree to which hard surfacing for on-site parking and manoeuvring areas is minimised, mitigated by appropriate site landscaping, or designed to allow it to be used safely as shared open space.
- the extent to which the landscaping plan ensures that buildings, accessways, parking areas, visible earthworks and retaining structures are integrated into the surrounding neighbourhood and the degree to which sufficient space is provided for maturing trees, and the retention of existing trees. Where trees or other vegetation is removed as a result of site redevelopment, whether replacement trees and vegetation are of a similar nature and scale.
- Where standard 5.6.2.4 for site coverage is not met, whether the resulting development is of appropriate bulk, scale and quality.

...

4.2.3.4A Recognise the positive benefits of retirement villages and supported care facilities in providing housing choice for aged and disabled people, whilst managing the potential adverse impacts on surrounding residential amenity and character.

METHODS

- Rules
- Advocacy
- Residential Design Guide
- Subdivision Design Guide

Retirement villages and supported care facilities contribute to greater housing choice through their provision of housing for the elderly. There are positive benefits in having these facilities

located in residential areas. Residential activities are the predominant activities though many developments also include ancillary activities such as medical facilities, recreation facilities, and social function spaces. These activities, including the non-residential component, are permitted under the Plan.

Modern retirement villages and supported care facilities are typically larger in height, density and scale compared with traditional facilities and other residential dwellings and, if not designed well to integrate into the neighbourhood, may cause impacts on surrounding residential character and amenity.

A restricted discretionary rule enables consideration of the effects of the built development, particularly impacts on residential amenity of surrounding properties and residential character in general. Developments will be assessed primarily against the Character and Site Planning guidelines of the Residential Design Guide to ensure the assessment is focused on mitigating adverse impacts on surrounding residential amenity and character.

...

- 4.2.3.5 Require on-site, ground level open space to be provided as part of new residential developments to enhance visual amenity and assist with the integration of new developments into the existing residential environment.**

METHODS

- Rules
- Advocacy
- Residential Design Guide
- Subdivision Design Guide

The traditional development pattern in Wellington's Residential Areas is a single dwelling per site, with limited space devoted to vehicle parking and manoeuvring. As a result most properties retain a reasonable area of open space on site. Rear yards with mature visually prominent vegetation and well landscaped front gardens are typical features that contribute to the character and amenity of most established suburbs. The building bulk of new infill and multi-unit development, together with the hard surface areas required for vehicle parking and manoeuvring, can alter the valued character and amenity by reducing the sense of open space and degree of separation from other buildings (both on site and with neighbouring properties). The requirement to provide open space is an important tool for ensuring that new developments are of appropriate density, are capable of providing a suitable degree of openness and greening on-site, and are able to be sensitively integrated into the surrounding neighbourhood. Open space can also help to:

- *Provide a setting for the new buildings and structures on site*
- *Soften the visual impact of new buildings and structures as viewed from surrounding public spaces*
- *Provide open space allowing for trees and vegetation on site*
- *Enable open space areas that can help to increase soil permeability, reducing storm water*
- *Enhance the on-site amenity of the development where the space is well-designed and connected to the main living areas.*

The nature and quality of open space provided, and its relationship to the dwelling type, design and the layout of buildings on site will be instrumental in how well a development fits into an existing neighbourhood. In some cases it may be acceptable to lower the open space provision if it can be demonstrated that the open space provided, including any roof top open space and on-site communal/shared open space, is of high quality, responds well to the overall development concept and complements the surrounding residential context. An application to reduce the open space requirement will need to be able to demonstrate that:

- *The resulting development is of a scale, type and character that acknowledges, and complements, the prevailing patterns and qualities of the surrounding neighbourhood (as judged against the content of the Residential Design Guide).*

- *The development adequately resolves issues regarding building layout and the degree of separation between buildings (both on site and with adjoining sites).*
- *The resulting development contains sufficient open space, including where appropriate rooftop open space and on-site communal/shared open space, to integrate into the surrounding neighbourhood. The open space should be of appropriate dimensions to reflect predominant patterns in the surrounding area and to suit the purpose for which it is intended.*
- *The open space provided is of high quality and will provide superior amenity for occupants.*

However, when a development seeks a reduction in the amount of open space provided on a site in order to maximise permitted site coverage or to make provision for off-street car parking, it may be a signal that the site is being overdeveloped. As open space is also a means of managing development density of a site in order to retain residential character, the provision of adequate open space on a site may mean that the maximum permitted site coverage is not always able to be achieved. In this situation reduced site coverage, or a reduction in the number of household units will generally be the appropriate way to manage development density on the site (rather than a waiver of the open space requirement) to ensure townscape amenities and residential character is maintained.

5. Amend Objective 4.2.4 as follows:

OBJECTIVE – RESIDENTIAL AMENITY

4.2.4 Ensure that all residential properties have access to reasonable levels of residential amenity.

POLICIES

To achieve this objective, Council will:

- 4.2.4.1 Manage adverse effects on residential amenity values by ensuring that the siting, scale and intensity of new residential development is compatible with surrounding development patterns.**

METHODS

- Rules
- Residential Design Guide
- Subdivision Design Guide
- National standard access design criteria
- Advocacy

Maintaining reasonable levels of amenity in Residential Areas is one of the key objectives of the Plan. People expect that the amenity standards of the Residential Areas of the city, where most people live, will be maintained at a level that sustains the residents' enjoyment of their suburb. For this reason District Plan rules have been applied to new development in Residential Areas.

The scale and placement of new buildings can have a significant impact on the amenity enjoyed by neighbouring properties. The District Plan contains provisions that seek to strike an appropriate balance between facilitating new development and protecting the amenity of neighbouring properties.

While the specific provisions vary between different parts of the City, the basic controls used to manage amenity are generally consistent across the city.

Rules set minimum standards for all dwelling houses and associated buildings. The building recession standards are intended to protect people's access to a reasonable amount of direct sunlight. It is accepted that

because of Wellington's hilly topography and form of development, full sunlight protection in all cases is not possible.

Building recession provisions also provide a degree of separation between buildings and allow a reasonable amount of sunshine to reach neighbouring sites, by requiring the taller portions of buildings to be located further away from boundaries. Less restrictive building recession provisions apply in the Inner Residential Areas where the encouragement of existing building forms and increased residential density is also a consideration.

The building recession requirements are also less restrictive in Medium Density Residential Areas where Council is seeking to facilitate medium density residential development.

Maximum buildings heights are specified at levels that recognise the scale of existing buildings in the area, while also providing scope to undertake a reasonable scale of building work and allowing sufficient flexibility to cope with variations in topography and slope. In the Outer Residential Areas the building height standards provide for a generous two-storey building. In the Inner Residential Area the heights are usually sufficient to facilitate three-storey buildings.

In the Medium Density Residential Areas the maximum building heights range from two-three storeys depending on the character and nature of each area. While thought must be given to the nature of development on adjoining sites, applications for comprehensive redevelopment in Medium Density Residential Areas will be principally considered in terms of their compatibility with the desired future character for the area, rather than compatibility with the surrounding development patterns.

Within the Johnsonville, Tawa and Karori Medium Density Areas the maximum building height has been set at 8 metres in recognition of the scale of existing built form, and the number of sites that have already been re-developed with one or two storey buildings. A significant number of sites in this area have already been developed under the previous planning controls which have resulted in principally one-two storey infill and multi-unit developments. These sites are unlikely to be developed further so the planning controls in the se Johnsonville Medium Density Residential Areas seek to provide for appropriate integration between ~~the~~ existing and future developments. ~~However medium density developments of up to three storeys(10.4 metres) are anticipated in the Johnsonville area and discretion has been provided to enable consideration of such proposals on a case by case basis.~~

Developments up to three storeys (10.4 metres) are anticipated within the Johnsonville, Tawa and Karori Medium Density Residential Areas. Discretion has been provided to enable consideration of such proposals on a case by case basis. In particular, building to the maximum height provided (30% above the permitted level) is considered acceptable on sites in close proximity to a town centre, sites along a Principal Road, and larger sites where additional height is centralised to the site. Upon consideration of the matters listed below, and whether the effects of additional height are appropriately mitigated, Council may proceed on a non-notified basis.

There are no controls to protect views from private property. This is a matter which Council considers is better dealt with by private agreement.

High fences and walls along, or close to, the boundary of residential sites are controlled to enable the effects of shading on adjoining sites to be assessed.

There are three tools in the Plan used to manage development density. Over-development of a site can result in adverse amenity effects for adjoining neighbours, and may affect residential character of a street or neighbourhood. Site coverage is the main tool used to control development density. Thresholds are set for different areas to reflect existing patterns of development, while allowing some scope for additions and alterations. Careful consideration will be given to any proposed breach of site coverage to ensure the effects are able to be managed appropriately. The car parking requirement per unit and the open space requirement per unit can also influence development density. A proposal that seeks to exceed one or more of these requirements can potentially result in a development that is not compatible with surrounding properties.

The standards for permitted residential buildings and accessory buildings, (including fences and walls) are designed to ensure that the visual amenities of both the Inner and Outer Residential Areas are generally maintained. However, because residential buildings in the City are diverse and Wellington's topography is rugged, conditions may need to be varied on occasion. The standards are flexible enough to allow the establishment of new residential development while maintaining overall amenity levels.

Proposals that involve more than one breach of the permitted activity conditions (especially site coverage, sunlight access planes and height standards) may result in cumulative effects on the surrounding environment that are not anticipated by the Plan, and be of an intensity and scale that is not in keeping with the surrounding environment. Council will consider the cumulative effects and seek to ensure that the proposal adopts measures that will mitigate any such effects.

Matters to consider when assessing a proposal to vary the standards for buildings in residential areas include:

- *whether a better development outcome can be achieved by varying the specified conditions.*
- *whether the topography of the site or the location of any built feature(s) on the site, or other requirements such as easements or rights-of-way, impose constraints that make compliance impracticable.*
- *the degree to which the proposal (through inappropriate siting, building height and bulk) significantly increases the opportunities for overlooking into adjacent properties (both indoor and outdoor spaces), reducing amenity for neighbours.*
- *whether new building work will cause significant loss of sunlight and daylight to adjoining sites.*
- *where a proposal results in a breach of site coverage, the extent to which that breach will adversely affect the amenity of adjoining sites as well as the cumulative effect on the surrounding environment*
- *where a proposal fails to provide the specified open space requirement per unit:*
 - *whether it results in a development density that is inconsistent with the surrounding residential environment (see Policy 4.2.3.6), or*
- *where a proposal involves breaches to several permitted activity conditions, the extent to which the cumulative effects of that proposal results in a development that is out of scale with the surrounding residential development and whether it will create adverse effects on the neighbourhood amenity of that residential environment.*
- *the extent to which it can be demonstrated that buildings or structures adjoining Conservation Sites will have no adverse effects on the ecological values of the Conservation Site.*
- *where standards for yards, site coverage, building height, building recession planes and open space contained in 5.6.2 are not met and the written approval of any affected person has not been obtained, whether new building work will cause significant loss of sunlight, daylight or privacy to adjoining sites.*

6. Amend Objective 4.2.7 as follows:

OBJECTIVE - ACTIVITIES

4.2.7 To facilitate a range of activities within Residential Areas provided that adverse effects are suitably avoided, remedied or mitigated, and amenity values are maintained or enhanced.

POLICIES

To achieve this objective, Council will:

...

4.2.7.5A Enable retirement villages and supported care facilities and associated building activity, provided relevant standards are met to avoid, remedy or mitigate adverse effects.

METHODS

- Rules
- National standard access design criteria
- Advocacy

Retirement villages and supported care facilities contain a mixture of residential and non-residential activities. The main effects of these comprehensive development activities relate to the buildings and their integration with the surrounding environment. Accordingly, the Plan exercises control over those matters, but permits any non-residential components of a retirement village or supported care facility.

7. Include a new Rule in Chapter 5 as follows:

Chapter 5. Residential Area Rules

Guide to Rules

NOTE: The following table is intended as a guide only and does not form part of the District Plan. Refer to specified rules for detailed requirements.

Prefers to Permitted Activities, C to Controlled Activities, DR to Discretionary Activities (Restricted) and DU to Discretionary Activities (Unrestricted).

Uses/Activities	Rule	P	C	DR	DU
Residential activities that comply with standards 5.6.1	5.1.1	•			
<u>Retirement villages and supported care facilities that comply with standards 5.6.1</u>	<u>5.1.1A</u>	⋮		⋮	
Residential activities, <u>retirement villages, and supported care facilities</u> not provided for as Permitted Activities	5.3.1			•	
Work from home activities that comply with standards 5.6.1	5.1.2	•			
Educational Services on Karori Campus	5.1.2B	•		•	
Educational Services on Scots College, Samuel Marsden Collegiate School, Queen Margaret College, St Marks Church School, Basin Reserve	5.1.2C	•		•	
Hotel activities at 20 Kemp Street	5.1.2D	•		•	
Work from home activities not provided for as Permitted Activities	5.3.2			•	
Non-residential activities not specifically provided for as Permitted, Controlled or Discretionary (Restricted) Activities	5.4.1				•
Non-residential activities in existing non-residential buildings that contain a shopfront display window adjacent to the footpath	5.2.1		•		
Early Childhood Centres (up to 30 children)	5.3.3			•	
Temporary activities	5.1.3	•			
Storage, use, etc of hazardous substances, except in a Hazard Area, that comply with standards 5.6.1.6	5.1.4	•			

Storage, use, etc of hazardous substances not provided for as Permitted Activities	5.4.3				•
Upgrade and maintenance of existing formed roads and accessways	5.1.5	•			
The creation of open land for recreation or amenity purposes	5.1.6	•			
Helicopter Landing Areas	5.4.2				•
Buildings	Rule	P	C	DR	DU
Residential buildings, accessory buildings and residential structures subject to standards 5.6.2	5.1.7	•			
Residential buildings, accessory buildings and residential structures not provided for as Permitted Activities	5.3.4			•	
Alterations and additions to existing residential buildings constructed prior to 27 July 2000 subject to standards that do not comply with standards 5.6.2.2, 5.6.2.4, 5.6.2.5 and 5.6.2.8	5.1.8	•			
Construction of, alteration of, and addition to, buildings and structures within an Educational Precinct subject to standards 5.6.2	5.1.9	•			
Alterations of, and additions to, and structures within the Oriental Bay Height Area subject to standards 5.6.2	5.1.10	•			
Construction of, alteration of, and addition to, buildings and structures within the Oriental Bay Height Area that are not Permitted Activities	5.3.8			•	
Buildings (cont.)	Rule	P	C	DR	DU
Internal alterations, minor additions to existing residential buildings and new accessory buildings in the Tawa Hazard (Flooding) Area	5.1.11	•			
Construction, alteration of, and addition to residential buildings, including accessory buildings that are not a Permitted or Controlled Activity in the Tawa Hazard (Flooding) Area	5.3.10			•	
Construction, alteration of, and addition to residential buildings, accessory buildings and residential structures resulting in 2 household units within the Airnoise Boundary (Map 35)	5.3.10B			•	
Demolition or removal of buildings and structures except heritage items, pre 1930's buildings in the Inner Residential Area and Holloway Road (Outer Residential Area) and the removal or demolition of architectural features from the primary façade constructed prior to 1930.	5.1.12	•			
The demolition of any building, excluding accessory buildings, constructed before 1930 in the Inner Residential Area and Holloway Road (Outer Residential Area) (see Appendix 1)	5.3.6			•	
The construction, alteration of, and addition to residential buildings, accessory buildings and residential structure in the Thorndon and Mt	5.3.5			•	

Victoria North Residential Character Areas					
Multi-unit residential development – 2 or more household units on any site in a Medium Density Residential Area, the Inner Residential Area, or the Coastal Edge or 3 or more household units on a site in the Outer Residential Area	5.3.7			•	
<u>Construction, alteration of, and addition to retirement villages and supported care facilities</u>	<u>5.3.7A</u>			•	
Multi-unit residential development - 3 or more household units on any site inside the Airnoise Boundary (Map 35)	5.4.4				•
Two or more household units on any part of a site in the Hazard (Fault Line) Area	5.4.5				•
Any subdivision, use or activity, including the construction, alteration of, and addition to buildings or structures on the areas denoted (A) that is not a permitted activity on the Tapu Te Ranga land (Appendix 18) In areas denoted (B) and (C) any subdivision, use or activity including earthworks	5.4.6				•
Non-residential activities, non-residential buildings and structures not specifically provided for as Permitted , Controlled or Discretionary (Restricted) Activities	5.4.1				•
Accessory buildings and residential structures including fences and walls, on a legal road	5.3.9			•	

...

5.1 Permitted Activities

The following activities are permitted in Residential Areas (which includes the Inner and Outer Residential Areas and the identified Medium Density Residential Areas as shown on the planning maps) provided that they comply with any specified conditions.

ACTIVITIES

5.1.1 Residential activities are Permitted Activities provided that they comply with the standards specified in section 5.6.1 (activities),

except:

- In the areas denoted as (B) and (C) on the map contained in Appendix 18, Tapu Te Ranga Land, 16-50 Rhine Street, Island Bay (see Rule 5.4.6)

5.1.1A Retirement villages and supported care facility activities are Permitted Activities provided they comply with the standards specified in 5.6.1 (Activities).

...

BUILDINGS AND STRUCTURES

5.1.7 The construction, alteration of, and addition to, residential buildings, accessory buildings, and residential structures, except those listed below, is a Permitted Activity provided the new building or structure, or the new part of the building or structure, complies with the standards specified in section 5.6.2 (buildings and structures).

- works within an Educational Precinct (see Rule 5.1.9)
- works within the Oriental Bay Height Area (see Rule 5.1.10)
- works within the Tawa Hazard (Flooding) Area (see Rule 5.1.11)
- the construction, alteration of, and addition to residential buildings, accessory buildings and residential structures in the Thorndon Character Area and Mount Victoria North Residential Character Area (see Rule 5.3.5)
- multi-unit developments (see Rule 5.3.7)
- retirement villages and supported care facilities (see Rule 5.3.7A)
- any development that involves the removal or demolition of a building (excluding accessory buildings) constructed prior to 1930 in the Inner Residential Areas shown in Appendix 1 (see Rule 5.3.6)
- any works that involve the removal or demolition of architectural features from the primary elevation of a building (excluding accessory buildings) constructed prior to 1930 in the Inner Residential Areas shown in Appendix 1 (see Rule 5.3.6)
- accessory buildings and residential structures on a legal road (see Rule 5.3.9)
- any development that will result in two household units on a site inside the Airnoise boundary depicted on Map 35 (see rule 5.3.10B)
- any development that will result in three or more household units on a site inside the Airnoise boundary depicted on Map 35 (see Rule 5.4.4)
- any development that will result in two or more household units on a site inside the Hazard (Fault Line) Area (see Rule 5.4.5)
- in the areas denoted (B) and (C) on the map contained in Appendix 18, Tapu Te Ranga Land, 16-50 Rhine Street, Island Bay (see Rule 5.4.6)

For subdivisions above Patna Street and Huntleigh Park Way, Ngaio, and David Crescent and Parkvale Road, Karori refer to Appendix 12 and 15

For Lot 2 DP 71465 off Stockden Place, Karori refer to Appendix 8

For Section 105, Ohariu District, west of Johnsonville refer to Appendix 9

Multi-unit developments are defined in Chapter 3

...

5.3 Discretionary Activities (Restricted)

Section 5.3 describes which activities are Discretionary Activities (Restricted) in Residential Areas. Consent may be refused or granted subject to conditions. Grounds for refusal and conditions will be restricted to the matters specified in rules 5.3.1 to 5.3.13. The decision on whether or not a resource consent application will be notified will be made in accordance with the provisions on notification in the Act.

ACTIVITIES

- 5.3.1 Residential activities, retirement villages, and supported care facilities which would be Permitted Activities but which do not meet one or more of the standards outlined in section 5.6.1 (Activities), are Discretionary Activities (Restricted). Discretion is limited to the effects generated by the standard(s) not met:**
- 5.3.1.1 fixed plant noise (standard 5.6.1.2)**
- 5.3.1.2 vehicle parking (standard 5.6.1.3)**
- 5.3.1.3 site access (standard 5.6.1.4)**
- subject to compliance with the following condition:**
- 5.3.1.4 noise emission levels under standard 5.6.1.2 (fixed plant noise) shall not be exceeded by more than 5 decibels. This condition does not apply to temporary activity noise.**
- Work from home activities that do not comply with the standards in section 5.2.6.2 will be considered under Rule 5.3.2*
- Any activity involving the storage, use or handling of hazardous substances that does not comply with the standards in 5.2.6.3 will be considered under Rule 5.4.3.*

Non-notification

In respect of rule 5.3.1, applications will not be publicly notified (unless special circumstances exist) or limited notified, except that in relation to 5.3.1.2 (vehicle parking) and 5.3.1.3 (site access) the New Zealand Transport Agency must be notified where it is considered to be an affected party to an application.

Relevant policies for preparing resource consent applications

See policies 4.2.4.2, 4.2.7.1, 4.2.7.2, 4.2.12.1, 4.2.12.2 and 4.2.12.4.

Note that this is an indicative list of relevant policies; applicants should check all policies for relevance to a particular consent application.

...

BUILDINGS AND STRUCTURES

- 5.3.4 The construction, alteration of, and addition to residential buildings, accessory buildings, and residential structures, retirement villages, and support care facilities, which would be Permitted, Controlled or Discretionary (Restricted) Activities but which do not comply with one or more of the standards outlined in section 5.6.2 (Buildings and Structures) are Discretionary Activities (Restricted). Unless otherwise noted below, discretion is limited to the effects generated by the standard(s) not met:**
- 5.3.4.1 minimum site dimension (standard 5.6.2.1), discretion is limited to the effect of reduced site area on:**
- the efficient use of land
 - townscape character
- 5.3.4.2 yards (standard 5.6.2.2)**

- 5.3.4.3 ground level open space (standard 5.6.2.3)
- 5.3.4.4 site coverage (standard 5.6.2.4)
- 5.3.4.5 maximum height (standards 5.6.2.5, 5.6.2.6, and 5.6.2.7) and additions and alterations to buildings with an existing non-compliance (standard 5.6.2.9), discretion is limited to the effect of building height on:
- the amenity values of adjoining properties
 - the character of the surrounding neighbourhood, including the form and scale of neighbouring buildings
 - the visual character of the coastal escarpment (for any site in the Residential Coastal Edge)
- 5.3.4.6 maximum height of an accessory building in the Inner Residential Area (standard 5.6.2.5.4), discretion is limited to the effect of the building on:
- the character of the surrounding neighbourhood, including the form and scale of neighbouring buildings
- 5.3.4.7 building recession plane (standard 5.6.2.8)
- 5.3.4.8 maximum fence height (standard 5.6.2.10)
- 5.3.4.9 buildings in the Hazard (Fault Line) Area (standard 5.6.2.11), discretion is limited to:
- building height
 - construction type
- 5.3.4.10 proximity to High Voltage Transmission Lines (standard 5.6.2.12), discretion is limited to:
- the separation distance between the building or structure and the transmission lines
 - the impact of the proposed works on the ongoing operation, maintenance and upgrading of the national grid
- 5.3.4.11 fixed plant noise (standard 5.6.2.13)
- 5.3.4.12 noise insulation – Airport Area (standard 5.6.2.14)
- 5.3.4.13 noise insulation – Port Noise Affected Area (standard 5.6.2.15)
- subject to compliance with the following conditions:
- 5.3.4.14 the standard for site coverage must not be exceeded by more than 20% in the Inner Residential Area, Medium Density Residential Areas, Roseneath (OR 3) and Mitchelltown (OR 4).
- 5.3.4.15 total site coverage (including uncovered decks over 1 metre in height) must not exceed 42% in the remainder of

Any proposal for two or more units in the Hazard (Fault Line) Area will also be considered under Rule 5.4.5.

the Outer Residential Area

- 5.3.4.16 the maximum building height stated in standard 5.6.2.5 (except for Medium Density Residential Areas) must not be exceeded by more than 20%**
- 5.3.4.17 the maximum building height stated in standard 5.6.2.5 must not be exceeded by more than 30% in Medium Density Residential Areas**
- 5.3.4.18 in the Oriental Bay Height Area (shown in Appendix 4) the maximum building height shall not be exceeded, except for the property at 20A Oriental Terrace where the maximum height must not be exceeded by more than 20%**
- 5.3.4.19 the building recession planes stated in standard 5.6.2.8 must not be exceeded by more than 3 metres measured vertically (the maximum of 3 metres cannot be increased by the gable end roof allowance)**
- 5.3.4.20 noise emission levels under standard 5.6.2.13 (fixed plant noise) shall not be exceeded by more than 5 decibels.**

Non-notification

In respect of items 5.3.4.6 (accessory building height), 5.3.4.9 (hazard (fault line), 5.3.4.12 (noise insulation – airport), and 5.3.4.13 (noise insulation – port noise) applications will not be publicly notified (unless special circumstances exist) or limited notified.

In respect of item 5.3.4.2 (yards) applications will not be publicly notified (unless special circumstances exist) or limited notified, except that Greater Wellington Regional Council will be considered to be an affected party to any application that breaches standard 5.6.2.2.10.

In respect of rule 5.3.4.3 (open space) applications will not be publicly notified (unless special circumstances exist) or limited notified, if:

- the site is in the Outer Residential Area; and
- the open space provided is greater than 35m² and has a minimum dimension greater than 3.5m; and
- the open space area not provided is the portion of open space that may be used for vehicle accessways and manoeuvring as outlined in standard 5.6.2.3.3.

In respect of item 5.3.4.10 (high voltage transmission lines) applications will not be publicly notified (unless special circumstances exist) or limited notified, except that Transpower NZ Ltd will be considered to be an affected party.

Relevant policies for preparing resource consent applications

See policies 4.2.1.1, 4.2.1.2, 4.2.1.3, 4.2.1.4, 4.2.1.5, 4.2.1.6, 4.2.2.1, 4.2.2.2, 4.2.3.1, 4.2.3.2, 4.2.3.3, 4.2.3.5, 4.2.3.6, 4.2.3.7, 4.2.3.8, 4.2.4.1, 4.2.4.2, 4.2.4.3, 4.2.4.4, 4.2.8.3, 4.2.8.4, 4.2.10.2, 4.2.10.3, 4.2.12.1, 4.2.12.2, 4.2.12.4, 4.2.12.5, 4.2.13.1, 4.2.13.2 and 4.2.13.3.

Note that this is an indicative list of relevant policies; applicants should check all policies for relevance to a particular consent application.

...

5.3.7A Retirement Villages and Supported Care Facilities

The construction, alteration of or addition to retirement villages and supported care facilities are Discretionary Activities (Restricted) in respect of:

5.3.7A.1 design, external appearance and siting (including impacts of building bulk, height, and scale on adjoining properties),

5.3.7A.2 townscape character

5.3.7A.3 provision of parking, vehicle manoeuvring and site access

5.3.7A.4 traffic effects

5.3.7A.5 site landscaping

5.3.7A.6 capacity of stormwater, wastewater and water infrastructure to support additional demand

Except that this rule does not apply to the following:

- **any development inside the Airnoise boundary depicted on Map 35**
- **any development on a site inside the Hazard (Fault Line) Area**
- **any development in the areas denoted (B) and (C) on the map contained in Appendix 18, Tapu Te Ranga land, 16-50 Rhine Street, Island Bay**

If the proposal does not comply with the standards for buildings and structures in 5.6.2 then Rule 5.3.4 applies in addition to this rule.

Note: section 3.2.4 requires a Design Statement to accompany any application for resource consent that is to be assessed against the Residential Design Guide. In respect of retirement villages and supported care facilities, Guidelines on Character and Site Planning are the core matters to be assessed in the RDG.

Non-notification

In respect of rule 5.3.7A, applications in identified Medium Density Residential Areas will not be publicly notified (unless special circumstances exist) or limited notified, except for:

- any application involving item 5.3.7A.3 (provision of parking and site access) or 5.3.7A.4 (traffic effects) where the New Zealand Transport Agency must be notified if it is considered to be an affected party to an application.

Relevant policies for preparing resource consent applications

See policies 4.2.1.1, 4.2.1.1A 4.2.1.2, 4.2.1.3, 4.2.1.4, 4.2.1.5, 4.2.1.6, 4.2.2.1, 4.2.2.2, 4.2.3.1, 4.2.3.2, 4.2.3.3, 4.2.3.4A, 4.2.3.5, 4.2.3.6, 4.2.3.7, 4.2.3.8, 4.2.4.1, 4.2.4.2, 4.2.4.3, 4.2.4.4, 4.2.5.1, 4.2.5.2, 4.2.7.5A 4.2.8.1, 4.2.8.2, and 4.2.8.3.

Note that this is an indicative list of relevant policies; applicants should check all policies for relevance to a particular consent application.

8. Amend the standards in Chapter 5 as follows:

...

5.6.1.3 Vehicle Parking

On-site parking shall be provided as follows:

- residential activities: minimum 1 space per household unit
- in the Inner Residential Area an existing building may be converted into two household units without provision of on-site parking, provided the existing building was constructed prior to 27 July 2000 and the development will not result in more than two household units on the site
- no on-site parking is required to be provided on the properties at 9, 11, 13, 15, 17 and 19 Millward Street, Newtown
- visitor parking for multi-unit developments: a minimum 1 dedicated space for every four household units for any proposal that results in 7 units or more
- for early childhood education centres the parking requirement shall be 1 space for each staff member that is required to operate the centre when it is at full capacity
- for boarding houses the parking requirement shall be 1 space per 3 bedrooms
- for retirement villages and supported care facilities the parking requirement shall be 0.7 spaces per unit plus 1 park per 5 units for visitors.
- all parking must be provided and maintained in accordance with sections 1, 2, and 5 of the joint Australian and New Zealand Standard 2890.1 – 2004, Parking Facilities, Part I: Off-Street Car Parking.

Where an assessment of the required parking standards results in a fractional space, any fraction less than or equal to 0.5 shall be disregarded. Any fraction of greater than 0.5 shall be counted as one parking space.

...

5.6.2.3 Ground Level Open Space

5.6.2.3.1 Ground level open space must comply with the standards in Table 4 below:

Table 4 - Ground Level Open Space per Unit (minimum dimension)

<p>Medium Density Residential Areas-</p> <ul style="list-style-type: none"> • <u>Kilbirnie</u> • <u>Johnsonville 1</u> <p><i>(exception listed below)</i></p>	No requirement
<p>Medium Density Residential Areas-2 – <u>Johnsonville</u></p> <ul style="list-style-type: none"> • <u>Johnsonville 2</u> • <u>Tawa</u> • <u>Karori</u> 	20 sq.m per unit (minimum dimension 3 metres)
<p>Inner Residential Area (exception listed below)</p>	35 sq.m per unit (minimum dimension 3 metres)

IR5 – Oriental Bay Height Area	No requirement
Outer Residential Area	50 sq.m per unit (minimum dimension 4 metres)

5.6.2.3.2 In the Inner Residential Area an existing building may be converted into two household units without provision of ground level open space, provided the existing building was constructed prior to 27 July 2000 and the development will not result in more than two household units on the site.

5.6.2.3.3 No area of ground level open space shall be used for vehicle accessways, parking or manoeuvring areas, or be covered by buildings, except for:

- Balconies, or verandahs may extend out over ground level open space up to a maximum depth of 1.5 metres.
- Uncovered decks less than 1m above ground are regarded as ground level open space for this rule.
- For sites within the Outer Residential Area up to 15m² of ground level open space area may be used for vehicle accessways or manoeuvring areas.
- For sites within the Outer Residential Area up to 15m² of ground level open space area may be used for non-open space purposes when the car parking is provided in a basement or undercroft.

5.6.2.3.4 In the Outer Residential Area ground level open space shall be calculated per unit and shall be provided as private ground level open space adjoining the unit to which it relates.

5.6.2.3.5 In Medium Residential Density Areas and the Inner Residential Area ground level open space shall be calculated as an aggregate total for the site and may be provided as either private or shared open space. Shared open space may be provided in more than one area on site. All areas of shared open space shall have a minimum area of 30 square metres and a minimum width of 3 metres.

...

5.6.2.5 Maximum Height.

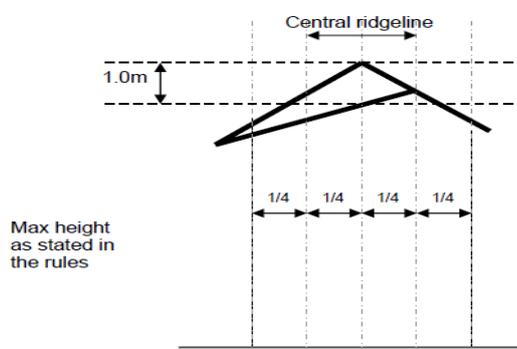
5.6.2.5.1 Subject to standards 5.6.2.6, 5.6.2.7 and 5.6.2.8, the maximum height standards for buildings and structures are listed in Table 6 below.

Table 6 – Maximum Height of Buildings and Structures

Medium Density Residential Area - Kilbirnie	10 metres
Medium Density Residential Areas 2 – Johnsonville	8 metres
<ul style="list-style-type: none"> • <u>Johnsonville 2</u> • <u>Tawa</u> • <u>Karori</u> 	
Inner Residential Area (exceptions listed below)	10 metres
IR 3 – Aro Valley	7.5 metres
IR 4 – Mt Cook, Newtown, Berhampore	9 metres
IR 5 – Oriental Bay Height Area	13 – 34 metres above mean sea level (refer Appendix 4)
IR 6 – North Kelburn/Bolton Street	10 - 16 metres (refer Appendix 3)
Outer Residential Area	8 metres

(exception listed below)	
OR 3 – Roseneath	10 metres

- 5.6.2.5.2 For properties located within the Hazard (Fault Line) Area the maximum height is 8m.
- 5.6.2.5.3 For additions to existing non-complying buildings standard 5.6.2.9 applies in addition to standard 5.6.2.5.1
- 5.6.2.5.4 Any accessory building erected between the street frontage and an existing residential building on a site in the Inner Residential Areas shown in Appendix 1, shall have a maximum height of 3 metres (measured from ground level directly in front of the proposed accessory building).
- 5.6.2.5.5 In Residential Areas (excluding the Oriental Bay Height Area) an additional 1m can be added to the maximum height (stated in the rules) of any building with a roof slope of 15 degrees or greater (rising to a central ridge) as illustrated on the following diagram:



...

9. Amend the Residential Design Guide as follows:

Residential Design Guide

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INTRODUCTION

Application

This Guide provides design assessment criteria for developments subject to resource consent. In particular, it applies to a range of development scenarios outlined in the Residential Area Rules, including some small scale infill housing developments (which may or may not include subdivision), multi-unit developments, [developments in Medium Density Residential Areas](#) and work involving pre-1930 buildings.

Besides this Guide, other documents such as the Subdivision Design Guide may also be applicable to development. Relevant District Plan rules for the underlying zoning will also apply.

Intention

To facilitate new residential development that [provides housing choice and supply](#), is of good design, and responds to its neighbours and local context as well as to the needs of people who live in it.

Infill and multi-unit developments by their nature demand that people are able to live comfortably in close proximity. In the relatively high-density environment of multi-unit housing, special measures are needed to ensure that high quality development is achieved. More specifically this Design Guide aims to:

- encourage responsiveness to the character of each particular site, including consideration of the physical and visual qualities of the street and the immediate area, except in MDRAs, where a change of existing character is anticipated.
- ensure that new multi-unit development fits into an existing neighbourhood in a way that maintains reasonable standards of privacy and daylight for residents and neighbours
- encourage the design of new housing to respond to known and typical user needs
- encourage good-quality, cost-effective design
- address all types of housing.
- provide detailed description of character to help implement character guidelines in identified residential areas:
 - Thorndon
 - Mount Victoria
 - Aro Valley
 - Mt Cook, Berhampore and Newtown
 - Oriental Bay
 - Residential Coastal Edge

Detailed design objectives are set out in each section.

Guidance for Medium Density Residential Areas

Medium Density Residential Areas exist in parts of Johnsonville, Kilbirnie, Tawa and Karori.

Policies 4.2.1.2 to 4.2.1.4 of the District Plan and associated explanation state that:

“Medium Density Residential Areas are tightly defined residential areas where high quality medium density housing will be actively encouraged. These areas are located surrounding the existing town centres of Johnsonville, Kilbirnie, Tawa and Karori where the benefits of higher density residential development will be greatest. Intensification within these areas will allow efficient use of existing infrastructure, support existing services and facilities, provide greater housing choice and allow people to live close to jobs and close to public transport.”

Within Medium Density Residential Areas, the District Plan seeks to achieve high quality development that contributes positively to the local townscape and ensures high quality design outcomes.

The Plan sets out additional guidance in places to support this:

- High levels of amenity for occupants of new residential developments
- High quality development, both in terms of building design and townscape character
- Variety in the built form (including variations in style, type and scale of buildings)
- Variety in household type (1, 2, 3, 3+ bedroom units)
- Appropriate levels of protection for neighbouring property’s amenity

As these areas were formerly zoned Outer Residential Area, their existing character is typically low density, single detached dwellings on larger sections. However, the MDRA zoning seeks high quality housing developments resulting in moderate increases in residential density, potentially changing the existing character in these areas. A change in character is anticipated in a MDRA zone.

Interpretation

Relevance

Good design is site and programme specific, and not all of the design guidelines in this design guide will necessarily apply to every site or development type. However, every guideline that is relevant to the project (bearing in mind site, type and scope) must be considered, and design objectives must be satisfied.

Relevant guidelines can be identified by the designer and confirmed with WCC design reviewers in pre-application meetings.

The District Plan identifies areas where different outcomes will be given different weight. While all relevant guidelines must be considered, responding to

existing character will be a priority in the areas identified in the appendices to this guide. However, existing character will be less of a focus in identified 'medium density residential areas' because a change from the existing character is anticipated, where Maintenance of general amenity will instead be emphasised.

Design flexibility and responsiveness to site

Sometimes, a design objective may be best achieved by means not anticipated in these guidelines. In such situations, it is justifiable to depart from a relevant guideline if it can be demonstrated that an alternative design solution better satisfies the associated design objective.

Prioritisation

Every design proposal is a response to a unique mix of requirements and circumstances. Sometimes, they are in competition. While each development should demonstrably satisfy all applicable objectives, the unique conditions of each location may mean some objectives are more important than others. Priority should be given to satisfying those guidelines that are most critical to the overall intentions of this guide in an optimal way in each unique location. Priorities can be identified by the designer and confirmed with WCC design reviewers in pre-application meetings.

Coherence and integration

The design must respond to the range of relevant guidelines in a coherent and integrated way, and should have its own inherent design integrity and coherence.

Explanation

Throughout this guide, italicised explanatory text provides further assistance on the intended interpretation and application of the guidelines.

Information requirements

Refer to Chapter 3 of the District Plan for a list of information required with each application. This includes a design statement that will describe how the proposal satisfies relevant design guidelines and objectives.

1 Character

New development should generally recognise and complement the visual characteristics of the local neighbourhood and streetscape.

However, the extent to which these guidelines are relevant depends on the recognised significance of character in the area. Where new development is located within a group of buildings of recognised and consistent character, or immediately adjacent to recognised heritage buildings, it should pay special attention to compatibility with the defining characteristics of those buildings.

Complementing existing character (G1.1) is not a factor in designated Medium Density Residential Areas. Here new buildings will help to establish a new, more intensively urban character. However, while representing a change from the existing condition, all development in these areas should follow the principles of good urban design as described in other parts of this guide, and establish a positive precedent for the other development that will follow.

Objectives

- O1.1 To recognise the unique qualities and sense of place of every urban setting, and respond to and enhance these with new development.
- O1.2 To minimise visual effects of earthworks on the public realm.

Guidelines

Assessing and complementing neighbourhood character
(NB: G1.1 does not apply in Medium Density Residential Areas)

- G1.1 Identify and relate to the established patterns and precedents that determine the character of the street and local neighbourhood.
Primary characteristics are the most important and typically include:
 - landform
 - significant vegetation
 - height
 - plan dimensions and frontage width
 - setbacks from street frontage
 - wall and frontage orientation

Secondary characteristics, depending on local context may be important, but are generally of lesser significance. These include:

- silhouette and roof form
- façade articulation (including window and door proportions)
- materials, finishes, textures and colours

The importance of any or all of these characteristics is determined by local context. The four dwellings each side of the site and those across the street should be used as a main reference point, although the extent of relevant local context will vary from site to site. Where the local context includes an exception to a predominant pattern, in general the exception should not be used as a precedent.

Relationship is achieved by establishing visual links with the context, particularly its primary characteristics. When reference is made to existing characteristics, even though it may be in some abstract form, the result should be clearly seen and understood from the street.

While relationship is important, this does not mean stylistic consistency or replication of the detail of neighbouring buildings. New buildings may relate successfully in a number of ways while also introducing new elements.

- G1.1A Identify and relate to the established pattern, character and scale of Landcross St, including consistent form, scale and pattern

The importance of any or all of these characteristics is determined by local context. The four dwellings each side of the site, and those across the street, and those above and below Landcross St should be used as a main reference point, although the extent of relevant local context will vary from site to site. Where the local context includes an exception to a predominant pattern, in general the exception should not be used as a precedent.

Relationship is achieved by establishing visual links with the context, particularly its primary characteristics. When reference is made to existing characteristics, even though it may be in some abstract form, the result should be clearly seen and understood from the street and from other places from which Landcross St is visible.

Consistency or contrast

- G1.2 Maintain consistency with defining and valued neighbourhood patterns, staying generally within the limits of diversity in the area and creating contrast only in special circumstances.

When is consistency required?

Consistency is most important when a new development is placed within a valued and recognised ensemble of buildings that have similar character, or where alignment, similarity and coherence is required to maintain

When contrast might be considered

Contrast can create a focus of attention. The extent to which this is appropriate depends on the public significance of the proposed development and its function. It also depends on the heritage or cultural value of the setting.

the quality and character of the public environment.

Where the area is characterised by consistency and unity, then the design response should aim for similarity. The collective quality of such a group of buildings could be degraded if new development did not visually relate to it in important ways. This does not imply replication, nor that the style of new buildings should match existing. It is often possible for a well-designed building of contemporary form and style to complement an existing area with a few key references, particularly to the primary characteristics of its neighbours.

Conversely, where an area is characterised by diversity, the general limits of that diversity should be identified. This will be the range of design responses and elements that will reinforce a link with the area.

Where a street or neighbourhood is valued for its complexity and diversity, design solutions that contribute to that diversity and largely remain within its boundaries will maintain those qualities. Such places are usually more able to accept diverse forms and contrasting building types. Particularly in areas characterised by diverse character and complexity, new building types, for example apartments, may be appropriate.

Where existing building forms are diverse and divergent elements or buildings compromise the amenity or the visual character of the area, the precedent set by divergent elements should not be followed.

Landform

- G1.3 Maintain general landform, minimise the need for large retaining structures and design any required earthworks and retaining walls as positive landscape features.

Development should fit into rather than drastically alter the landform. The siting and design of building should be determined by existing landscape features and existing landforms rather than the ability to engineer the site. Landform modification also removes existing vegetation, which can cause further change to character.

Large, utilitarian retaining walls are unsightly, and can be prominent in views across a neighbourhood, particularly where these replace areas of dense planting. They also impact on the outlook from the dwelling they serve. These elements should be designed to detract neither from the amenity of the dwellings, nor the character of the neighbourhood. Unsightly earthworks and large retaining walls that are highly visible from neighbouring sites or unable to be mitigated with planting and landscaping should be avoided.

Vegetation

- G1.4 Retain significant existing trees and vegetation where practicable and where these can be usefully integrated into the residential development, particularly where they are recognised by the local community as having significance beyond the site. Where the visual dominance of the existing vegetation is a defining characteristic of the area, the visual dominance of vegetation should be maintained.

Retention of vegetation is particularly important on coastal and other escarpments, valley walls and other similar areas that are prominent in

public view.

Retaining mature vegetation helps to maintain local character and integrate development into the neighbourhood, but also provides attractive outlook, can help provide visual privacy both within the development and for neighbours and gives a sense of the development being well-established.

Strong patterns of planting along frontages contribute to streetscape character and may also be relevant, particularly in Medium Density Residential Areas, where green interfaces with the street edge are encouraged.

- G1.5 Use species that extend the planting and landscape patterns that characterise the wider setting.

This is relevant where a new development is in an area that comprises a consistent range of species, and the area to be planted is visually prominent, for example a bank or escarpment. Continued use of those species with new planting will help integrate new development into the neighbourhood.

Height

- G1.6 Where height is a significant character issue, relate the height of new development to that of buildings within the immediate area.

Permitted heights are set by District Plan standards, however where a site is within an area characterised by a consistent and much lower height, height at the street frontage may need to be reduced to maintain the existing pattern.

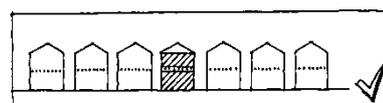
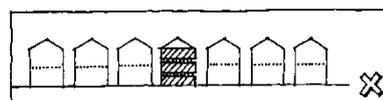
Relationship and transition might be achieved by placing lower transitional forms at the interface or modelling primary form to reduce visual bulk. Height juxtapositions of more than one storey at any street edge where consistency of height currently exists should particularly be avoided.

Where height is relevant to local character, excavation that will increase the perception of building height at the street frontage should be avoided.

In addition making the inter-storey height of new buildings generally similar to that of adjacent dwellings will help to maintain alignments and similarity in size and proportions of wall openings as well as existing scale in situations where this is important.



Maintaining similar height at the street edge in areas characterised by consistent height



Inter-storey height and relation to character

- G1.6A *Height in Medium Density Residential Areas*

Development in identified Medium Density Residential Areas will be more intensive than existing development

patterns. In recognition of this the District Plan enables buildings up to 3 stories (10.4m) as a discretionary restricted activity (or 13m in MDRA – Kilbirnie) in certain circumstances. The right combination of building height and building set back from the street edge should be carefully considered to respond to the street context.

In general, development up to three stories is likely to have less impact on streetscape character where sites front wide streets ie, 20m wide road corridor with generous berms and footpaths lining each side. Additional height could be accommodated on Principal Roads as these provide a ‘gateway’ to the town centre and community facilities.

Topography will also be considered when assessing whether the additional height of a proposed building can be absorbed by the site with few effects.

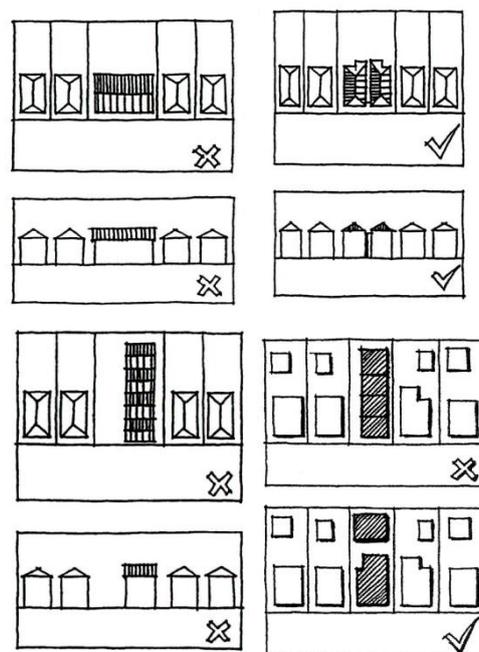
Additional height may be appropriate on prominent street corner sites and situated at key junctions. Buildings on streets corners should have windows facing both street frontages.

In all cases, additional height will be determined on a site by site basis with careful consideration to effects on neighbouring residential amenity.

Plan dimensions and siting

G1.7 Relate to the existing pattern of building dimensions, frontage widths and spaces between buildings by considering, where applicable, the following design techniques:

- Grouping units together into modules that relate to the dimensions of buildings typical for the neighbourhood;
- Expressing the form of each unit, or groups of units (whichever is more consistent with the predominant dimensions of buildings in the immediate area) with a separate roof, and/or differentiating individual units or groups of units by varying colour and materials;
- Offsetting units in plan, introducing gaps or creating slots between blocks with dimensions that relate closely to those existing to give visual separation between dwellings;
- Offsetting units vertically, introducing height variation to articulate building bulk;
- Using transitional forms and volumes to achieve a relationship between a large new development and smaller neighbours.

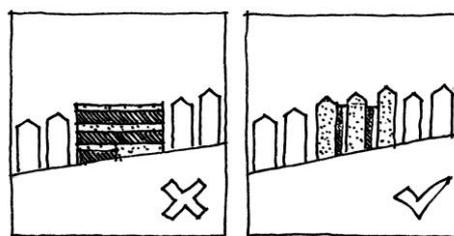


Variation in alignment and form, or both as required, can be used to achieve a scale relationship between relatively large multi-unit development and neighbouring small scale

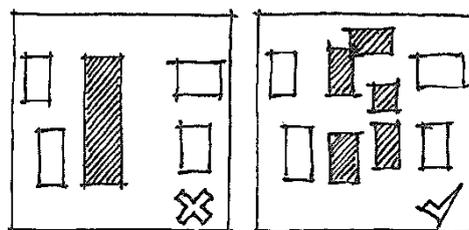
detached dwellings.

Large multi-unit residential developments can become visually dominant if they are of a type and size that contrasts significantly with an existing pattern of detached dwellings in a residential area. Strict alignment of connected identical dwellings means that a group of individual dwellings will usually read as a single, very large building. This is detrimental in areas characterised by relatively small scale detached dwellings.

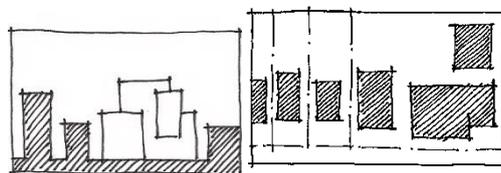
Gaps break down bulk and allow scale relation with smaller neighbouring buildings, and also can allow glimpse views through for neighbours. Spacing between primary forms should relate to typical local patterns. Transitional volumes of intermediate scale can mediate at the interface between smaller or larger developments on neighbouring sites.



Maintaining the rhythm of buildings along the street edge in areas of consistent character



Modulation of plan form to achieve relationship with neighbouring buildings



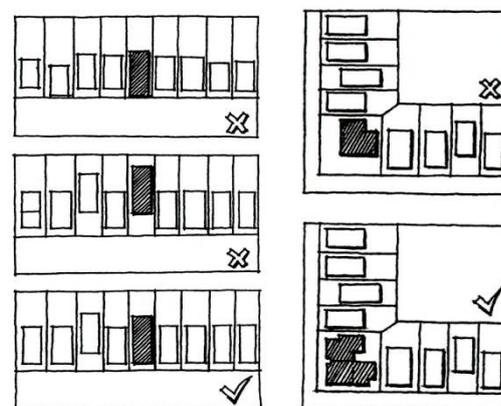
Use of transitional volumes and placement to achieve a positive scale relationship and assist with integration

- G1.8 Reference established side yard patterns in situations where new buildings can be built to the side boundaries but patterns of side yards remain important.

A visual reference to established side yard patterns can be made with form and façade articulation (especially for developments on amalgamated sites). For taller multi-storey developments, a shallow setback from the side boundaries (introduced at a certain height level) might be appropriate to assist the relationship with adjacent buildings.

- G1.9 **Frontage setbacks**
 Maintain frontage setbacks that are consistent with the existing pattern of development in the immediate area in situations where this existing pattern is a determining characteristic of the area and is recognised as being of value.

The position of buildings relative to the street defines the spatial enclosure or openness of the street and the character of the street edge. The existing pattern or norm should be established and new development is required to be generally consistent with this to maintain the character of the streetscape. Transitions can sometimes be used at and close to boundaries to integrate a new pattern of building placement into an existing neighbourhood.



Frontage setbacks

G1.9A *Frontage setbacks in MDRAs*

Development in the Medium Density Residential Areas will result in more intensive housing (and resulting impact on the streetscape). A minimum 3m front yard setback will therefore be required to assist in integrating the development with surrounding development patterns.

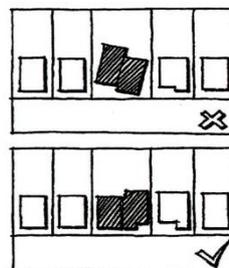
This setback will provide opportunity to landscape and ‘green’ the front yard area, providing both onsite amenity and a positive streetscape contribution.

As with the consideration of additional height at G1.6A, departures from the minimum 3m front yard depth may be considered on an individual basis. Any such departure will be informed by the street’s characteristics and established setback patterns (ie. if there is an existing prevalence of reduced setbacks in the immediate locality).

Wall and frontage orientation

G1.10 Follow the local pattern of orientation of walls relative to street edges and the street grid.

This relates to primary wall alignments. The alignments of secondary forms, and those not prominent in view are of lesser concern.



Silhouette and roof form

G1.11 Where consistent silhouette and roof form is a defining pattern of a neighbourhood, make considered reference to the predominant patterns of roof type and pitch.

Roofscapes should both reflect the character of the area and enhance its visual amenity when viewed from the street. This is particularly important for roofs over the largest components and the most visible parts of development.

Building tops of large new development on amalgamated sites should be carefully modelled to mitigate the effect of a long horizontal unbroken roof line. This can be achieved by breaking down the building top into smaller elements differentiated by height variation, physical breaks, setback/recesses and architectural features. Similar levels of skyline intricacy in combination with reference to predominant roof pitches and types may also help integrate a new development.

Roof forms should be considered in association with predominant roof materials and combinations of roof type, pitch and materials that are uncharacteristic of the area avoided.

Façade articulation

- G1.12 Refer to existing patterns of façade articulation and use of secondary and tertiary forms to achieve a complementary level of visual relief and formal complexity.

This means comparable levels of visual complexity and intensity and quality of detail, and entrances and windows that relate in scale, proportion and percentage of wall surface to local patterns. It does not mean replication of existing styles.

Façade articulation is particularly important in MDRAs which may involve larger buildings. The use of finer detailing (eg, window frames, eaves, covered porches) help to break down the mass of larger buildings; helping to better integrate a larger building with surrounding buildings.

Proportions (both of the building and window/door elements) should be well considered and emphasise the respect for human scale. Windows should have vertical proportions and depth with associated detailing to express a recessed opening with a visible reveal.

In addition, the scale and proportions of balconies and any balcony encroachments over the public footpath should relate to the scale and proportions of both the building façade and adjacent building frontages.

Materials, finishes, textures and colours

- G1.13 In situations characterised by consistency of materials, finishes, textures or colours, integrate typical and/or complementary materials into new developments, considering both texture and colour.

Apply uncharacteristic materials only in combination with typical materials, ensuring that they are secondary to - and emphasise the visual impact of - the typical. Such materials might be used where they provide a significant improvement in building performance that cannot be achieved in any other way.

Limit or avoid the use of highly reflective cladding materials they would be out of keeping and also where they would create glare conditions in neighbouring streets and public spaces.

- G1.13A High quality materials and finishes are important, particularly in Medium Density Residential Areas where more intensive residential developments are anticipated. Durable materials should be selected to assist in a long term quality design outcome.

The choice of materials and colours does not need to be prescriptive if the building design follows guidelines set out in Sections 1 and 3 of this Design Guide and provides an exemplary design outcome.

Careful consideration should be given to design proportions, building form, details and materials for each development. Consider a variety of building materials on larger buildings to break down the overall mass of the building.

The visual character and overall success of a development often relies on the care and attention which is given to building design at a detailed level. Combining quality construction techniques and finishings with skilful craftsmanship is the best way to achieve this.

Access for ongoing maintenance and upkeep should be considered when selecting the material palette.

Adding to an existing building

- G1.14 Maintain general consistency of character when adding a new dwelling to an existing structure. This may include consistency of form, alignment, window type and proportions, and overall quality of materials and detail. Contrast is possible, but this requires design skill for successful integration.

The emphasis should be on the new elements fitting in, rather than an arbitrary contrast just for contrast's sake. This does not mean that period details or "reproduction heritage" should be applied as these can, and often do, detract from the character and value of place. Instead a similar level of visual quality, and common materials, forms, proportions and alignments may be used.

A new building may be contemporary in style, but if it is to be in keeping with the existing, it should relate in significant ways to that building.

2 Site Planning

The integrated and comprehensive planning of buildings, access and open spaces together is fundamental to achieving high quality residential development. Placement of building forms in relation to other buildings creates open spaces and establishes conditions of sunlight, daylight and privacy as well as a relationship to neighbourhood character. Good site planning recognises a concern for occupation, considering how a place is used by its occupants as well as its relation to the wider urban context.

Objectives

- O2.1 To plan and locate dwellings and open spaces together as a coherent whole, in a way that complements the character of neighbouring development and optimises amenity and liveability both within the development and for neighbours.
- O2.2 To make a positive contribution to the safety, amenity and visual character of the street.
- O2.3 To site and design buildings to meet the reasonable requirements of occupants and neighbours for visual and acoustic privacy.

Guidelines

Comprehensive, integrated site planning

- G2.1 Integrate the location and design of buildings and open spaces.

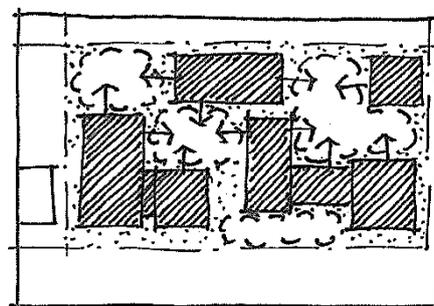
Dwellings must be sited and massed to both provide good quality interior space and define planned, positive open spaces.

Positive open spaces

- G2.2 Create positive open spaces between and around buildings

Open space on site should be planned and positive rather than left-over, function as an outdoor living room, and where relevant, maintain valued local patterns of open space and planting. Positive open space will be placed to relate to the living areas of the dwelling, receive sun, allow daylight to dwellings and a reasonable outlook from habitable rooms. While the edges of spaces may be defined, at least one view to the outside world will ensure that it will not have an unreasonable sense of enclosure.

Planned, positive open spaces between and around buildings will also, by creating visual separation, break down large scale developments and help these to relate to the often smaller scale of neighbours. Well-designed vehicle circulation will



Positive open spaces between buildings

also maximise opportunities for creating good quality ground level open space.

- G2.3 Aim to assign private open space to individual units wherever possible.

Private open space assigned to and directly connected to the living areas of dwellings generally enhances its amenity. Under the control of the occupant, it provides for private outdoor living, storage and other uses.

Apartment living may require relaxation or flexibility in the provision of outdoor open space.

- G2.4 Provide active edges to any shared areas of open space.

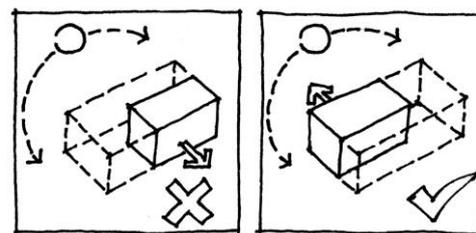
This can be by locating habitable rooms as well as windows and entrances to the dwellings off these spaces, and positioning and orientating garages and garage doors so that they do not dominate the shared access and open spaces associated with groups of dwellings. A balanced approach that also provides reasonable privacy for dwellings is anticipated.

Sunlight and daylight to living areas

- G2.5 Position all dwellings to receive midwinter sun in at least one main living room for at least 4 hours at mid-winter.

This will require that living areas will generally be located on the north side of dwellings or otherwise designed to optimise sun exposure and natural lighting.

Sunlight access must be considered for reasons of amenity and energy efficiency. In addition to complying with rules for sunlight access for neighbours, sunlight access within the development is also an important consideration.



Locate living areas to receive sun

- G2.6 Design elevations on or near common boundaries so that amenity is maintained even if future development on neighbouring sites is maximised at the shared boundary.

The amenity of apartments should be future-proofed in anticipation of ongoing intensification.

- G2.7 Locate and model building form to avoid unnecessary or unreasonable shading of private outdoor living spaces or windows to main rooms in adjacent dwellings within the development and in residential buildings on adjacent sites.

Care should be taken to balance the effects of screens located for visual privacy and the sunlight access that they may block.

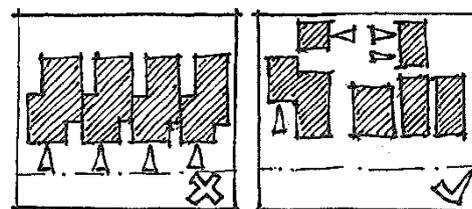
Car parking, garage and driveway location

- G2.8 Avoid concentrating garages at the street frontage and monotonous repetition of garage doors along the street frontage or within any development.

Garages and garage doors should be sited behind dwellings, recessed behind the front building line

or otherwise integrated in a way that does not dominate either the street frontage or interior. Such domination is generally avoided when not more than half the ground level frontage width comprises garage doors.

Common open space associated with multi-unit development will be of poor quality and present a relatively unattractive entrance to the dwellings served if it is dominated by rows of garage doors. This effect may be avoided by a range of methods including breaking large numbers of garages into small groups, varying their alignment and orientation, and interspersing garages at ground level with habitable rooms, dwelling entrances and landscape features.



Avoiding monotony and edges dominated by garage doors



- G2.9 Locate open carparking so that parked cars are not a dominant element at the street edge.

On-site parking should generally be placed away from the street frontage, and where the existing pattern of building setbacks and frontage alignment is important, consistency of setbacks should not be compromised to provide vehicle parking at frontages.

Where frontage setback allows for carparking, develop surfaces and landscaping so that any parked car does not dominate the street edge, retaining an appearance of “front garden” rather than “parking space”.

In some circumstances screening or planting and other landscape elements can give the appearance of a garden or courtyard and may mitigate views of parked cars at the frontage. However large blank walls at the street edge associated with car parking should also be avoided.

- G2.10 Position and design any communal vehicle and pedestrian accessways to avoid intruding on the privacy of dwelling interiors.

Common accessways or carparking not associated with a dwelling must be set back at least 1.5m from the windows of the main habitable areas of that dwelling, unless the floor level of the dwelling is 0.9m or more above the paved surface.

- G2.11 Locate garages to be conveniently reached from their associated dwellings but not where they completely obscure views of either the street or any common open space within the development.

Multiple garages between the dwelling and the street can cut off all signs of the presence of people and activity from the street, create visual monotony, and prevent the safety and security benefits of informal surveillance from being achieved.

- G2.12 Ensure any open carparking space can be viewed from the dwelling to which it is allocated.
- G2.13 For developments that are likely to be occupied by people with limited mobility, where practical provide either internal garage or an at grade link between parking spaces and their associated unit.

3 Building Design

The liveability of the dwelling as well as its relationship to the street and wider neighbourhood is determined by its detailed design. Careful placement of interior spaces along with consideration of the location, orientation and type of openings will allow new development to function well and sit well with its neighbours.

Objectives

- O3.1 To ensure each building is coherently designed, demonstrates design integrity, and integrates all relevant design criteria in the best possible way.
- O3.2 To make a positive contribution to the safety, amenity and visual character of the street.
- O3.3 To ensure that the design of new building tops enhances the visual amenity of the area when these are prominent in view.
- O3.4 To provide internal living environments that are healthy, comfortable, convenient, functional and attractive for their occupants.
- O3.5 To provide reasonable privacy both for the new dwellings and for neighbours.

Guidelines

Internal consistency and integration

- G3.1 Demonstrate in the design and composition of any building an overall coherence that integrates all of the relevant design guide requirements in a coordinated rather than piecemeal way.

Design coherence comes from the consistency and cohesion that are provided by a definable integrating design concept. Integration requires that the planning, formal composition, and visual qualities of a building are considered as a whole, as well as separately.

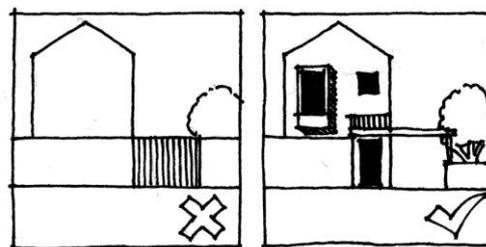
Particular consideration of this is needed when integrating decks, balconies, internal access garages into developments.

Frontages to the street

- G3.2 Present a public face to the street with entrances and windows orientated towards the street.

All development should contribute to the visual appeal and quality of experience of the street. This means where a dwelling is next to a street or other public space, provide living areas within the dwelling with a window facing, and a view out over, that public space.

Windows should be placed to give a good visual connection with the street. Such placement, giving a view out over the street, allows natural surveillance and projects the presence of life onto the street, making it a safer and more attractive place to be.



Public face to the street

Where there is little or no established building pattern, buildings should introduce sound design precedents for future street frontages.

Refer also to G1.9A.

- G3.3 Avoid using reflective or dark heat absorbing glass on building frontages.

Obscure glazing precludes the visual connection central to a positive street frontage. External awnings and sun screens could be considered as an alternative where environmental control is required.

- G3.4 Where apartments are within suburban centres, establish publicly relevant activity at the ground level street edge.

Active edges are particularly important along intensively used streets to maintain the continuity of activity and vitality necessary for the success of those streets.

- G3.5 Ensure developments with wide street frontages provide frequent connections to the street.

Should a development occupy a long street frontage it is desirable that there be more than one entrance from the street. Long, blank and inactive walls should be avoided.

With apartment development, this might be achieved with some of those apartments having direct access from the street, and/or providing more than one entrance and vertical access core. Multiple entrances will enhance the level of activity at the street edge, and reduce the need for long internal corridors

Scale and visual complexity

- G3.6 Give a sense of human scale at the publicly occupied edges of buildings.

This can be achieved by various means including openings with proportions and/or dimensions that are similar to those of the human figure; textures and subdivision of elements that are of commonly understood dimensions; and elements and components that are sized for human occupation and use.

G3.7 Provide visual interest on new façades, articulating or eliminating wall surfaces that are featureless or plain.

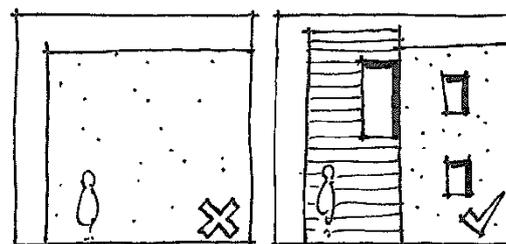
This is particularly important for developments in Medium Density Residential Areas, at the street edge or where a facade is conspicuously larger, higher or more prominent in view than others around.

Visual interest may be achieved in a number of ways including:

- *three-dimensional modelling to create contrast between foreground and background elements,*
- *layering architectural elements;*
- *Providing depth and detail to window openings;*
- *solid to void ratios need to be considered in respect of solar orientation of walls and the relationship of a front to the street;*
- *use of high quality and durable building materials;*
- *use of contrasting surface finishes, colours or patterns, or by*
- *emphasising part of a building's frontage to create a visual hierarchy.*

The effect should be both coherent and provide a level of visual complexity that is generally consistent with the established visual character of the immediate area.

However, a large flat wall surface may be used to balance other more complex parts of a façade. It may provide contrast and visual relief or a scale relation to an adjacent building. A flat wall surface might constitute a small proportion of ground floor facades, but only if the quality of the street edge is not compromised as a result.



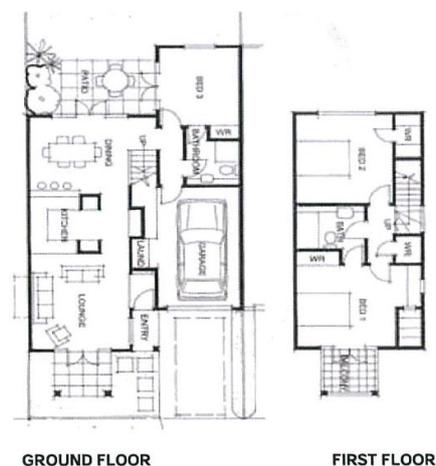
Avoid blank walls at the street edge

Adaptable unit design

G3.7A Consider different options for internal design layout to provide greater housing choice.

Sample illustration sourced from KCDC MDH design guidelines page 24.

Units that are adaptable to occupants changing needs will appeal to a wider proportion of the population. Including a bedroom and ensuite on the ground floor ensures less-abled residents can alter their living arrangements to live exclusively on one floor as their needs change.



ABOVE: THIS TYPOLOGY PROVIDES A GOOD GROUND FLOOR LIVING ARRANGEMENT INCLUDING A SECLUDED BEDROOM / ENSUITE. THIS IS MUCH MORE 'FRIENDLY' TO THE ELDERLY AND LESS-ABLED WHO CAN LIVE ON ONE FLOOR IF DESIRED.

Building tops

- G3.8 Integrate the tops of buildings, including plant and services, as explicit and coherent parts of the overall composition.

Solar panels, aerials and other services including any lift machine rooms/over-runs associated with multi-storey development should not be visually obtrusive. They should be integrated into the building top.

Space and amenity

- G3.9 Locate and design the living areas of individual residential units to optimise sun exposure, natural lighting and views.
All habitable rooms should be designed to receive natural lighting.

- G3.10 Provide shared internal circulation within developments that is efficient, convenient and understandable.

Routes should be direct and clear, with features that help people to orientate themselves. Ideally they will be short, and overly long corridors should be avoided. Widening to create small lobbies and denote apartment entrances will assist orientation and enhance the sense of spaciousness. Windows providing daylight and ventilation to circulation also provide a glimpse view of the outside to further assist orientation. Awkward or convoluted circulation routes should be avoided.

- G3.11 Ensure circulation and spaces within dwellings are efficiently planned to optimise accessibility, amenity and flexibility in the use of space.

It is crucial, particularly with small dwellings that circulation is efficient and that internal space is functional and can accommodate the reasonably anticipated lifestyle requirements of occupants. Circulation should be simple and direct, and is often effectively incorporated into living areas, although generally there should be

some internal screening at the entry to a dwelling. Efficient planning will eliminate unnecessary doors and circulation, and ensure that door swings minimise obstructions within rooms.

Consider the width of doorways, stairwells, corridors and design of the access to the main dwelling entrance and car parking to cater for people with reduced mobility.

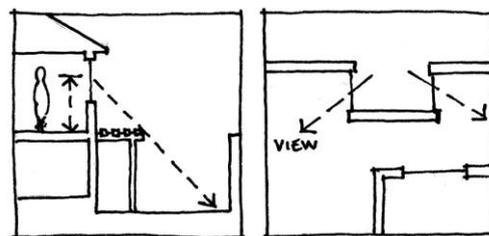
- G3.12 Ensure rooms are large enough to accommodate the functions appropriate to their type including storage.
Rooms should be large enough for furniture and circulation through or around this. Space allowance should be made for the storage appropriate to each type of room, either built in storage or furniture.
- G3.13 Provide for each dwelling which has private open space at ground, and which is not supplied with a lockable garage, a secure weatherproof storage area or cupboard accessible from the outside with a minimum internal volume of 1m³.
Bicycle storage should also be considered for all dwelling types, either associated with the dwelling or in a shared secure area.

Privacy for internal spaces

- G3.14 Position windows or otherwise restrict or direct outlook so that the short-range view from one dwelling is not directly into the main internal living areas of any neighbouring dwellings both within the development, or on adjacent sites.

Many areas in a house require privacy, and this should be able to be achieved by considering privacy issues at the site planning stage and by the careful design and placement of windows. Such measures to achieve privacy need not unduly affect the outlook or daylight to the dwelling, and may avoid the need for residents to resort to screening devices such as blinds or curtains.

While total privacy is not reasonably achievable, housing can be designed so that in the normal course of events – sitting at the dining table, on in a living room, or working in the kitchen, the view is not directly into the main windows or into the private space associated with an apartment or development on a neighbouring site. Distance increases privacy, so privacy generally ceases to be of concern with views across a street.



Visual privacy by screening, position and orientation of windows

- G3.15 Position windows adjacent to public or communal areas to minimise loss of privacy from passers-by looking in, while still letting people inside look out.
This can be achieved by a range of means including positioning the internal space above outside areas, and locating windows of main living areas where they are not in close range view directly along a shared path.

- G3.16 Shield the sleeping and noise-sensitive living areas of dwellings from uncontrollable high levels of external noise by distance, planning or constructional means.

An acceptable level of acoustic privacy can be more readily achieved if it is considered at the planning stages of a development. In principle, quiet areas should be placed close to other quiet areas, and noisy areas close to noisy.

Entrances and sense of address

- G3.17 Provide entry to dwellings that:

- is visible from the street or readily accessed from common areas within the development;
- provides a sheltered area immediately outside the door and a reception space inside the dwelling that is not a main living area;
- is not dominated by service spaces and activities; and
- allows appropriate personalisation by the occupants of the dwelling.

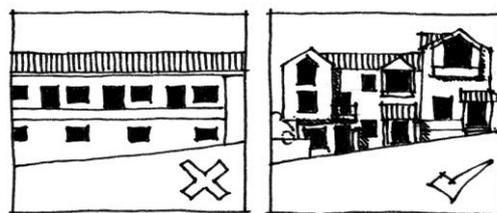
Individual dwellings should be able to be identified so that people can find them easily. A porch or setback at the entrance will provide not only shelter but also a transition between the public outside space and the privacy of the house.

- G3.18 Make main entrances to apartments visible, attractive, safe and well-lit, and place these to provide good physical and visual connections between the street and lobby spaces.

Emphasis should be given to the pedestrian entrance to the building. The main entrance is important in establishing the identity of an apartment development, as well as providing for functional needs. They should also be large enough to provide for mail boxes and passage of large items of furniture.

- G3.19 Consider the modelling of multi-unit building form to achieve a sense of individual identity and address for each dwelling.

The way individual dwellings are sited, and their degree of connection with or separation from others determines their degree of individual identity or "sense of address". This, aided by the way their entrances are designed and built, can give the privacy and image qualities of an individual dwelling on its own site, even within a multi-unit development. When applied to apartments, this consideration may mean only expressing the extent of each apartment on the façade, as the address for the apartment is typically a common entry lobby.



Sense of individual identity and address for townhouses

- G3.20 For developments that are likely to be occupied by people with limited mobility, where practical provide ground level access that is accessible by people using wheel chairs, and design units with reference to NZS 4121:2001

‘Design for access and mobility; buildings and associated facilities’ [and Lifemark Design Standards](#).

4 **Amenity Open Space Design**

*Good quality private **amenity** open space greatly increases the amenity of a dwelling and is a source of pleasure to individual residents. Positive open space in the form of an outdoor room increases the range of activities that people can enjoy in and around their home, allows an important expression of personal identity and gives connection with the outdoors. More private open space will generally increase the amenity of most types of dwelling, and its potential to provide for a range of activities will be enhanced with qualities of accessibility from the dwelling, privacy, sunshine and shelter. The type of open space required will differ according to development type.*

Objectives

- O4.1 To ensure that the private open space provided is of a high quality that will provide a pleasant outlook, create a pleasant, safe and visually attractive setting for the dwelling and accommodate the reasonable outdoor recreational, service and storage needs of residents.
- O4.2 To provide a type and quality of open space that is appropriate to the dwelling type.
- O4.3 To provide safe, convenient and attractive pedestrian and vehicle access to the dwelling.
- O4.4 To ensure the landscape treatment has a positive effect on the streetscape and neighbourhood.
- O4.5 [To encourage high quality shared open space within comprehensive developments, which is equally accessible and usable to a variety of residents.](#)
- O4.~~5~~6 To minimise any detrimental effects of vehicle access and parking on the visual quality of the streetscape and neighbourhood environment.

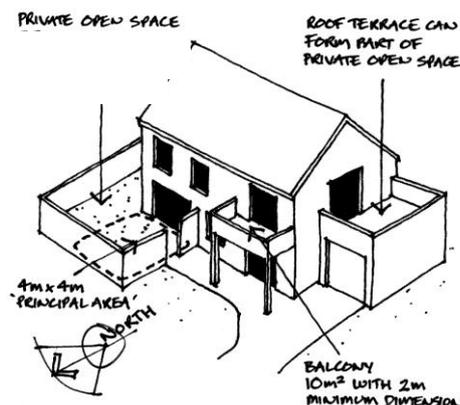
Guidelines

Private open space

- G4.1 Provide a "principal area" directly accessible from a main living area of the dwelling within all ground level private open spaces so these can function as an extension of that living area of the dwelling. The principal area should:
- be positioned with due regard for prevailing wind directions or be detailed to ensure that the worst effects of wind are eliminated.

- be located to receive optimal sun exposure
- have minimum dimensions of 4m x 4m
- be nominally flat with a gradient not greater than 1 in 12
- have a degree of visual privacy consistent with privacy guidelines.

The District Plan rules set out the **minimum** open space required for all residential dwellings to ensure sufficient space and openness is retained on site. The guidelines above outline what is required to ensure that the space provided for each unit is of high quality and caters for the prime recreation needs of residents. In Outer Residential Areas, To achieve this, an area of at least 35m² is needed that is contiguous and connected to the living areas of the dwelling. While a greater amount of private outdoor space will generally increase the amenity of most dwelling types, the outdoor space will not be successful unless it is of a quality that supports the required activities.



- G4.2 Ensure that the required private open space area is directly accessible from a main living room, and that the total area provided is within a single contiguous space.

The total area provided may be split if provided for by the open space rules, and where this demonstrably leads to a higher level of amenity for occupants than would otherwise occur.

- G4.3 Locate the 'principal area' of the private open space, or any complying balcony or deck to the north, west or east of the dwelling to ensure that it can receive over a substantial proportion of its surface no fewer than 3 hours of direct sunlight on 21 June between the hours of 9am and 3pm.

- G4.4 Use balconies or roof terraces to meet the private open space requirements for above ground dwellings.

Every apartment should have access to a useable area of private open space and this is most likely to be in the form of a balcony. The particular type, dimensions and appearance of private open spaces may vary, depending on the internal layout and residents' needs, but private open space should be of size and dimensions that allows it to become usable, for example for two people to access and sit comfortably at an outdoor table. Balconies will be both private and sunny and will typically be in the order of 10m², with a minimum dimension of 2 metres. Smaller balconies or decks may be appropriate, but only where apartments are small.

Where the character of adjacent buildings, exposure to prevailing winds, intended occupancy type and architectural composition of

the building justifies this, private open space for a minor proportion of units in any development may be achieved by fenestration that allows, in suitable weather, for living areas to be opened to the outside.

Shared ~~private~~ open space

G4.5 Shared ~~private~~ open space should have the following characteristics. It will:

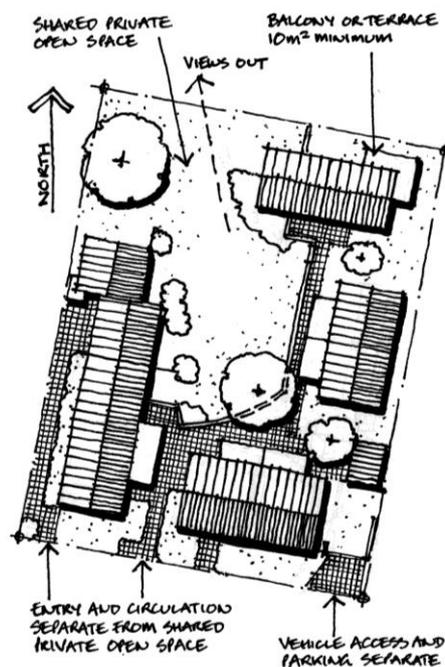
- form the planning focus of the development;
- be of an appropriate size for the number of people it serves and have direct or easy connection to all dwellings served;
- be multi-purpose that appeals to all ages and provides for a range of users and activities;
- be landscaped appropriately to welcome interaction and to signal a shared space;
- be access-controlled by its location, planning and design, and managed so it is available to the residents of the development only;
- be sunny and have a view beyond the site;
- be designed with CPTED principles
- be easy to maintain; and
- be generally flat, but may incorporate changes in level where these are designed to add to the visual and functional amenity of the shared space. *In dwellings designed for communal living, the aggregation of the private open space required into a single shared space may bring maximum benefit. This may include, for example, housing for the elderly, student housing and papakainga.*

~~Shared private open space should provide for a range of users and activities.~~ Driveways and turning areas for multi-unit housing are not defined as ‘shared ~~private~~ open space’, even though they may contribute space, openness and amenity.

Privacy for open spaces

G4.6 Protect the private open spaces of dwellings from being directly overlooked by careful positioning and planning, distance, screening devices or landscaping.

Just what an acceptable level of privacy consists of in any situation depends on a range of factors. These include the intimacy of the activities being overlooked, their frequency and the frequency and ease of overlooking, other distracting views, the direction of the line of view and cultural expectations. Complete protection of privacy will not always be possible. It is anticipated that a small proportion of the private space associated with the dwelling - that nearest to the living area, will have a high level of visual privacy. Other parts of the open space may be overlooked to varying degrees.



Shared ~~private~~ open space

For example, the principal area of open space, or decks or balconies provided as a means of satisfying the private open space requirements for each dwelling should not be subject to direct short range overlooking over around two-thirds of their area.

- G4.7 Plan outdoor living areas and position upper level windows of main living areas so that they do not have a direct short-range view into the private outdoor space of adjacent dwellings. This can be achieved by screening or otherwise restricting direct views from new development into the main private open spaces of nearby dwellings.

It is not expected that existing levels of privacy will be maintained, however consideration should be given to providing privacy to parts of neighbouring existing lots that are directly connected to the dwelling.

Complete protection of privacy will not always be possible. It is anticipated that a small proportion of the private space associated with the dwelling - that nearest to the living area, will have a high level of visual privacy. Other parts of the open space may be overlooked to varying degrees.

Direct, close range views are most likely to cause loss of privacy. However, while a neighbouring open space may be visible, privacy effects are likely to be acceptable in situations where the principal view from the overlooking space is directed away from neighbouring outdoor space, and where views are at an acute angle. Privacy effects are also reduced when viewers must move right to a window, or to the edge of a deck, where they will be in full view from neighbouring properties, to obtain that view.

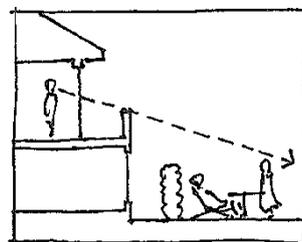
While new development will address privacy issues, privacy may be addressed at both sides of the boundary. If privacy is important to neighbours, and space and topography allow this, they may also need to contribute with planting or screening on their lot.

- G4.8 Provide screening devices where an acceptable level of privacy cannot be achieved by separation and the orientation of windows, buildings and spaces.

Acceptable architectural screening devices may be either solid or translucent panels or trellis which:

- are fixed and of durable and permanent materials*
- are visually unobtrusive or integrated by colour and design into the dwelling or into the landscaping of the site*
- if trellis, are open over no more than 25 percent of their area.*

Landscape screening should consist of existing vegetation or new planting that can achieve a



Screening with balcony balustrade

good level of screening at the time of planting. Some tree planting using 2-3 metre specimens may be required to provide privacy within the development and for neighbouring properties.

The provision of screening should be balanced with demands for sun and daylight into, and long-range outlook from, all neighbouring dwellings.

Accessway design

- G4.9 Offset or otherwise articulate long vehicle accessways to reduce vehicle speeds, and landscape them to make them visually attractive.

Large trees and shrubs are most effective in moderating the visual effects of long driveways and large areas of hard paving. Appropriate small-scale paving elements and landscaping will help to reduce the linearity of the space and vehicle speeds, and encourage the use of the space for more than just the movement of vehicles.

- G4.10 Plan open parking or vehicle manoeuvring areas to provide for pedestrian access and activity, and an attractive outlook from all dwellings that overlook them.

Such areas will be used by pedestrians and for uses other than vehicle movement and should be designed as shared surfaces. Secondary functions become more important in 'areas of change' where such surfaces may be the only ground level space open to the occupants.

Minimising the extent of hard-surfacing and providing appropriate landscaping to driveways and turning areas allows these to be both attractive and potentially attractive for other uses. Outlook will be enhanced by the use of large-scale planting, or integration with areas of lawn or garden.

- G4.11 Use paving patterns, materials and/or potentially combinations of material types in association with planting to give visual interest to areas used for parking and vehicle circulation.

The selection of paving materials and the detailed design of the paving itself influences whether the area is viewed only as a service area or whether it adds to the visual quality and character of the development. Material choice and the composition of paving and associate landscaping should be part of a comprehensive landscape plan that is visually coherent and complements the function and style of the dwellings served.

Planting design

- G4.12 Provide planting within new development that is suitable for situation, wind and sun exposure and soil type, placing this to enhance amenity.

Planting with a scale and growing habit appropriate to site and situation is required to provide any necessary screening while allowing reasonable sun and daylight to both dwellings and open spaces.

Trees provide attractive short-range views from the dwelling, give visual interest and privacy, as well as shelter and shade for both dwellings and associated outdoor areas.

Planting influences the image of new development from the street, and can enhance visual integration into the streetscape.

The adverse effects of mature tree roots on underground pipes should be considered as part of the planting design.

Site development and construction

G4.13 Refer to the Code of Practice for Land Development for the technical requirements relating to the length, width, gradient, and other geometrical and constructional features of driveways and parking spaces.

G4.14 Provide lighting as required at night for wayfinding and in situations where personal safety or security is likely to be of primary importance.

Promote safety and security by providing for night-time visibility with energy-efficient, low-glare lighting along paths and accessways leading to the development and for shared areas. Amenity effects should be considered to enhance the visual quality of the development.

G4.15 Design carports or garages and use materials and finishes so that these are visually compatible with, or of a similar standard to, the development as a whole.

G4.16 Avoid large retaining walls that are visible from surrounding buildings and public spaces. Where retaining walls are necessary, their visibility, formal composition and visual quality are important.

Retaining structures should be avoided or minimised through effective site planning which takes into account the topography of the site. Retaining walls may be visually integrated if they are treated as part of the building, or alternatively treated as a positive landscape feature with appropriate facing and composition. Where such walls are included

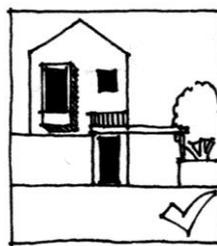
- *they should be given an appropriate landscape treatment. Where retaining walls are not entirely screened by buildings from distant views, design approaches might include screening planting, or subdivision into modules of dimensions that can be seen from a distance.*
- *their quality of construction and appearance is important. Walls should also be designed to*

enhance outlook in short range views from the dwelling. This means they should have a texture, composition and/or integral planting that gives interest in such views. Formless concrete walls should be avoided.

- G4.17 Ensure front fences and boundary walls enable people in the dwelling to see out to the street.

High front fences along an entire frontage compromise the visual quality and safety of the street environment, however some enclosure may be required to provide privacy or security for a front yard. In general fences should be low or visually permeable at the street edge. If a high front fence or wall is used, this should not comprise more than two-thirds of a frontage.

In order to maintain views out to the street and along the street edge, any portion of a side boundary fence within the front yard should also be no higher than the front fence it connects to.



Allowing a view to the street

Service facilities

- G4.18 Provide sufficient, suitably screened outdoor storage space to meet the likely rubbish and recycling storage needs of building users. This may be a bin space associated with each dwelling or a shared bin storage space. This space should be:

- sufficiently large to store and give access to at least one standard large garbage bin for each dwelling
- located or screened so as to be visually unobtrusive and not dominate the main entrance to any dwelling, the building complex or to neighbouring dwellings
- positioned and ventilated to avoid significant smell nuisance to any dwelling
- conveniently accessible from the dwelling or dwellings served.

- G4.19 Provide space conveniently at the street edge to allow temporary location of rubbish and recycling bins for collection.

Provision should be made in such a way that bins do not clutter and obstruct access along the footpath or into the development and that when the bins have been removed, the entrance space is enhanced.

- G4.20 Provide suitable space for natural or open-air laundry drying, within or accessible from each dwelling, but not within the defined 'principal area'.

This space should allow the installation of a clothes drying line in a position that is at least partially screened from the street or public space, and which even in mid-winter receives sufficient sun to allow a reasonable possibility that laundry will dry. Provision should be made for discreet open-air drying on the balcony if this is the only

private open space connected to the dwelling.