

Application for renewal and/or variation of an off-licence

Section 120 or 127, Sale and Supply of Alcohol Act 2012

To: The Secretary
District Licensing Committee
PO Box 2199
Wellington 6140

I would like to receive the results of this application (*including the licence, if applicable*) by: email post

Please **PRINT** clearly.

Endorsements

If you are seeking an endorsement, tick the appropriate box:

- Remote sales ONLY (*for example, online or catalogue sales*)
 Auctioneer

Applicant details

Full legal name/s of the person/s or company who will receive any proceeds from alcohol sales (*include a list of any other names, including a maiden name, that you may be known by*):

Event Hotels (NZ) Limited

Applicant status:

- Individual
 Private Company
 Partnership
 Body corporate
 Public company
 Club
 Trustee
 Local authority
 Licensing trust
 Government Department or other instrument of the Crown
 Manager under the Protection of Personal and Property Rights Act 1988
 Board, organisation or other body

Address:

84-94 Cable Street, Te Aro, Wellington

Postal address for service of documents:

P O Box 88, Bay View, Napier 4149

Postcode:

Contact details

Name of daytime contact: Georgie Robertson, authorised agent 021-611-844 Georgie@LicenceMe.co.nz

Phone number(s): Ian Charlton, general manager 04 802 8900 Ian_Charlton@EVT.com

Email (*this is our preferred way of contacting you*): Email

If applicable, list all criminal convictions (*except offences to which the Criminal Records (Clean Slate) Act 2004 applies*). State the type and date of each conviction:

Further details *(complete the section that applies)*

If the applicant is an individual

Occupation:

Date and place of birth:

If the applicant is a company or incorporated society

Private company: For each person who holds any shares issued by the company please provide: name, address, date of birth, place of birth, designation, percentage of shares held. *(Continue on a separate sheet if necessary.)*

Please refer to attached submission.

Public company: For each person who holds 20 percent or more of the shares, or of any particular class of shares, issued by the company please provide: name, address, date of birth, place of birth, designation. *(Continue on a separate sheet if necessary.)*

If the applicant is a partnership

Name of partnership if legally established:

For each partner provide name, address, date of birth, place of birth. *(Continue on a separate sheet if necessary.)*

Signature of each partner:

If the applicant is a body corporate

Please state the authority the body corporate is incorporated under:

Premises details

Address:

84-94 Cable Street, Te Aro, Wellington

Trading name for the premises:

QT Wellington

Type of premises *(for example, grocery store, bottle store, hotel):*

Hotel

Is the licence sought conditional upon the premises being constructed or altered?

Yes No

If yes, please describe the changes you are making and what consents you have:

Does the applicant own the proposed licensed premises?

Yes No

If no, what is the full name, address, email and phone number of the owner?

The applicant owns part of the land and some of the units contained thereon. Casata Limited owns the remainder of the freehold land. The remainder of the units comprising the hotel are on a Hotel Management lease.

What form and term of tenure will the applicant have?

Tick the box if the premises will have:

A supervised area *(under-18s must be with a parent or guardian)*

A restricted area *(no under-18s allowed)*

No designated areas

Supervised and restricted areas must be shown clearly on your scale plan of the premises.

Business details

Is the sale of alcohol intended to be the principal purpose of the business?

Yes No

If no, what is intended to be the principal purpose of the business? Provision of accommodation and food & beverage

Is the premises a grocery store?

Yes No

If yes, include a statement of annual sales revenue that complies with regulation 12 or 13 of the Sale and Supply of Alcohol Regulations 2013. To download a template, visit wellington.govt.nz/alcohol-docs

Days and hours

Days and hours when alcohol is to be sold or supplied

Monday to Sunday 9am to 9pm

Manager details

Full name and address of managers to be employed, their certificate numbers and expiry dates:

Name:

Certificate number:

Expiry date:

Name: Refer to attached manager register

Certificate number:

Expiry date:

Name:

Certificate number:

Expiry date:

Conditions

Describe the applicant's experience and training in the sale and supply of alcohol:

The applicant has traded this business for the past five years.

What actions does the applicant propose to take to make sure minors (*people under 18 years*) and intoxicated people are not supplied alcohol?

The applicant will adhere to the attached Social Responsibility Policy. Appropriate signage will be displayed. The manager will take control of any situation that could lead to a breach in the provisions of the Act. Evidence of age documents will be requested from any person looking to be under the age of 25 years.

What other actions will the applicant take to promote responsible alcohol consumption?

Please refer to the attached submission.

What other systems (including training) are, or will be, in place for compliance with the Act?

The manager will ensure that all staff are trained in their requirements and responsibilities under the Act. Particular attention is paid to the identification of minors and signs of intoxication. Further training will be given by training professionals for NZQA Unit Standards 4646 and 16705.

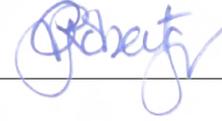
Please note: The New Zealand Police and the Medical Officer of Health are required by the Sale and Supply Act 2012 to make enquiries into the application which includes the suitability of the applicant. The Police inform the District Licensing Committee of any convictions or concerns involving the applicant. Should there be concerns the applicant will also be advised.

Dated at (place): Bay View, Napier

on (date): 14th April 2020

Print name:
Georgie Robertson, agent

Applicant's signature:



Print name:

Applicant's signature:

Privacy statement

Information you provide in this application and any supporting documents will be used by Wellington City Council (WCC) to process your application under the Sale and Supply of Alcohol Act 2012. This information will be made available to the public upon request, and will be shared with the Wellington District Licensing Committee, the Police, the Medical Officer of Health and WCC's Licensing Inspectors.

This information may form part of a public hearing or other consideration of your application before the Wellington District Licensing Committee, and may be used in the Committee's decision on your application. The decision will be made publicly available.

WCC is required to keep a statutory register of all alcohol licence applications. Anyone can request a copy of information held on the register from SecretaryDLC@wcc.govt.nz. The District Licensing Committee's decision on applications can be found at www.nzlii.org. WCC is required to report statistics about applications to the Alcohol Regulatory and Licensing Authority. Any member of the public may request access to this information under the Local Government Official Information and Meetings Act 1987. This information may also be used or shared for other purposes in line with the Privacy Act 1993. You have the right to see and correct personal information that WCC holds about you, and you can do so by contacting info@wcc.govt.nz.

14th April 2020

The Secretary
District Licensing Committee
Wellington City Council
Private Bag 2199
WELLINGTON 6140

Dear Sir

APPLICATION FOR THE RENEWAL & VARIATION OF AN OFF-LICENCE:
QT WELLINGTON

Enclosed please find an application for the renewal and variation of an off-licence in the name of Event Hotels (NZ) Ltd. The name of the company changed in May 2017, it was previously known as AHL Hotels (NZ) Limited. The premise to which this application relates is located at 84-94 Cable Street, Te Aro and is known as QT Wellington (previously known as QT Museum Wellington). The licence is numbered 49C/OFF/144/2017 and is due to expire on the 26th May 2020.

Terms of Licence Sought

The applicant holds an off-licence in terms of section 17 of the Act, authorising the sale and delivery of liquor from the premises. The applicant qualifies to hold such a licence pursuant to section 32(1)(a) of the Act.

The applicant seeks the retention of a hotel style off-licence.

The change sought to the licence is the alignment of designation condition to reflect that of the on-licence (yet to be issued).

The Applicant

Changes have been made to the licensee company since the last renewal of licence. All changes have been notified to ARLA as per the requirements of section 69 of the legislation.

The licensee is a private company incorporated on 1st March 1984. The company has five directors and one shareholder. Their personal details are as follows:

Name:	Norman Colin ARUNDEL
[REDACTED]	[REDACTED]
Designation:	Director

Name: Gregory Charles DEAN
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
Designation: Director

Name: Mathew Robert DUFF
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
Designation: Director

Name: David Ian STONE
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
Designation: Director

Name: Simon Peter WHITE
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
[REDACTED]
Designation: Director

Name: Noahs Hotels (NZ) Limited
[REDACTED]
[REDACTED]
[REDACTED]
Designation: Shareholder
Value of Shares Held: 100% shares

There is no reason to believe that the applicant is not a suitable entity to hold a liquor licence.

Conduct of Licence

Management of the Proposal

Ian Charlton is responsible for the overall management and day to day management of the business. Ian has a management pool assisting him with this, including the head of food and beverages.

Currently there are nine certificated managers at the premises. Best practice is to have a minimum of six duty managers employed. This number has proven sufficient to ensure that at all times the premises are open for the sale and supply of liquor; the requirements of the Act are adhered to.

The applicant has been instructed and will be reminded by the Agent as to their obligations in regards to managers and will ensure that sections 231 and 214 are adhered to.

The Duty Manager takes control of any situation that may lead to a breach in the provisions of the Act.

Evidence of age documents is requested when deemed necessary. All appropriate signage is displayed.

Staff Training

Training for all staff members is a requisite for a hotel which such high standards. The training manual is attached.

Further training will be given by trained professionals for NZQA unit standards 4646 and 16705 for the LCQ.

Security Plan

Given the business operates as a hotel, security is not generally required.

Should any incident occur that is beyond the control of the manager, the Police will be called.

Signage

The following required signage is displayed:

Copy of Licence	At the principal entrance
Licensed Hours	At the principal entrance
Name of Duty Manager	At the principal entrance
Social Responsibility Policy	Behind the bar dispensary
Alternative Forms of Transport	Behind the bar dispensary
Prohibited Persons	Behind the bar dispensary

Premises

Principal Entrance

The principal entrance of the premises is accessed from Cable Street, and more precisely shown on the attached photograph.

Design and Layout

The design and layout of the premises are shown in accompanying photographs. There is adequate visibility throughout the premises for staff to monitor the more public areas of the premises.

Environment

The Fees Regulations set the premises at a medium risk. The following is in support of the application:

Neighbouring Land Use

The premises are located in the middle of central Wellington, handy to Te Papa and other tourist attractions and is a short 2km stroll to Parliament buildings. There are many licensed premises (hotels, restaurants and bars) in the near vicinity that have licensed hours which are similar to those applied for here.

The applicant is unaware of any problems in the area stemming from the operation of the business since taking possession of the business in 2015.

There is no reason to believe that any neighbouring land owner or occupier will be disadvantaged by the renewal of this licence.

Locality in Relation to Perceived Sensitive Premises

Within a 500m radius of the subject site, the following premises have been identified:

Name	Address
Elim International Church	22 Tennyson Street (550m)
Wellington Methodist Parish	75 Taranaki Street (600m)
Arise Church	440 Wigan Street (450m)
Congregational Church	44 Cambridge Terrace (650m)
Tai Tamariki Kindergarten	Cable Street (300m)
CBD Childcare Centre	15 Harris Street (600m)

Current and Potential Noise Levels

The licensee's business is that of providing accommodation. Quality sleep for the clientele is essential. The applicant is highly conscious of the needs of their patrons, and noise levels within the premises are generally very low.

Should the unexpected occur and a noise complaint be received, it will be dealt with initially by the manager on duty. Should further complaints be received, the applicant would seek professional advice from an acoustic engineer.

Current & Potential Levels of Nuisance & Vandalism

There are no concerns in the area of nuisance and vandalism from the operation of a hotel.

Given that the premises has been licensed for some time, and operated with no cause for concern in relation to noise levels, nuisance or vandalism, it is firmly believed that the issue of the licence will not cause any issue in terms of amenity and good order.

Public Notification

The application will be publicly notified on the Wellington City Council website. An onsite notice will be placed following receipt of the application from the Inspectorate.

Conditions of Licence

Hours of Trade

At present the applicant is authorised to sell, supply and have liquor consumed on the premises during on the following days and during the following hours: -

Monday to Sunday 9am to 9pm

Licensed area

The entire building is licensed. No changes have been made to the licensed footprint since the last variation in 2017.

Designation

Any premises with a hotel style licence is required by legislation to have a part or parts of the premises designated as a supervised area. Following discussions with the licensing inspector reporting on the on-licence renewal, it was determined that the supervised area was more appropriate for the interior of the area known as Hot Sauce.

The applicant therefore requests that this designation is reflected on the off-licence. This is consistent with [2016] ARLA 69 Davison v BBC Welles Limited.

Application Processing & Reporting

Should the Police, Public Health or Licensing Inspector have any concerns in relation to this application, all communications thereon must be directed to the **applicant's agent in the first instance.**

Conclusion

This is an application for the renewal of an off-licence for a hotel.

The licensee is a private company with five directors and one shareholder. There is no reason to believe that this entity is not a suitable entity to hold a liquor licence.

Granting this application will not be contrary to the provisions to or object of the Sale and Supply of Alcohol Act 2012. The application is commended to the Committee for its positive recommendation.

Yours faithfully,
Hospitality Licensing Ltd



GEORGIE ROBERTSON
Liquor Licensing Consultant
Authorised Agent for Event Hotels (NZ) Limited

QT WELLINGTON

84-94 Cable Street

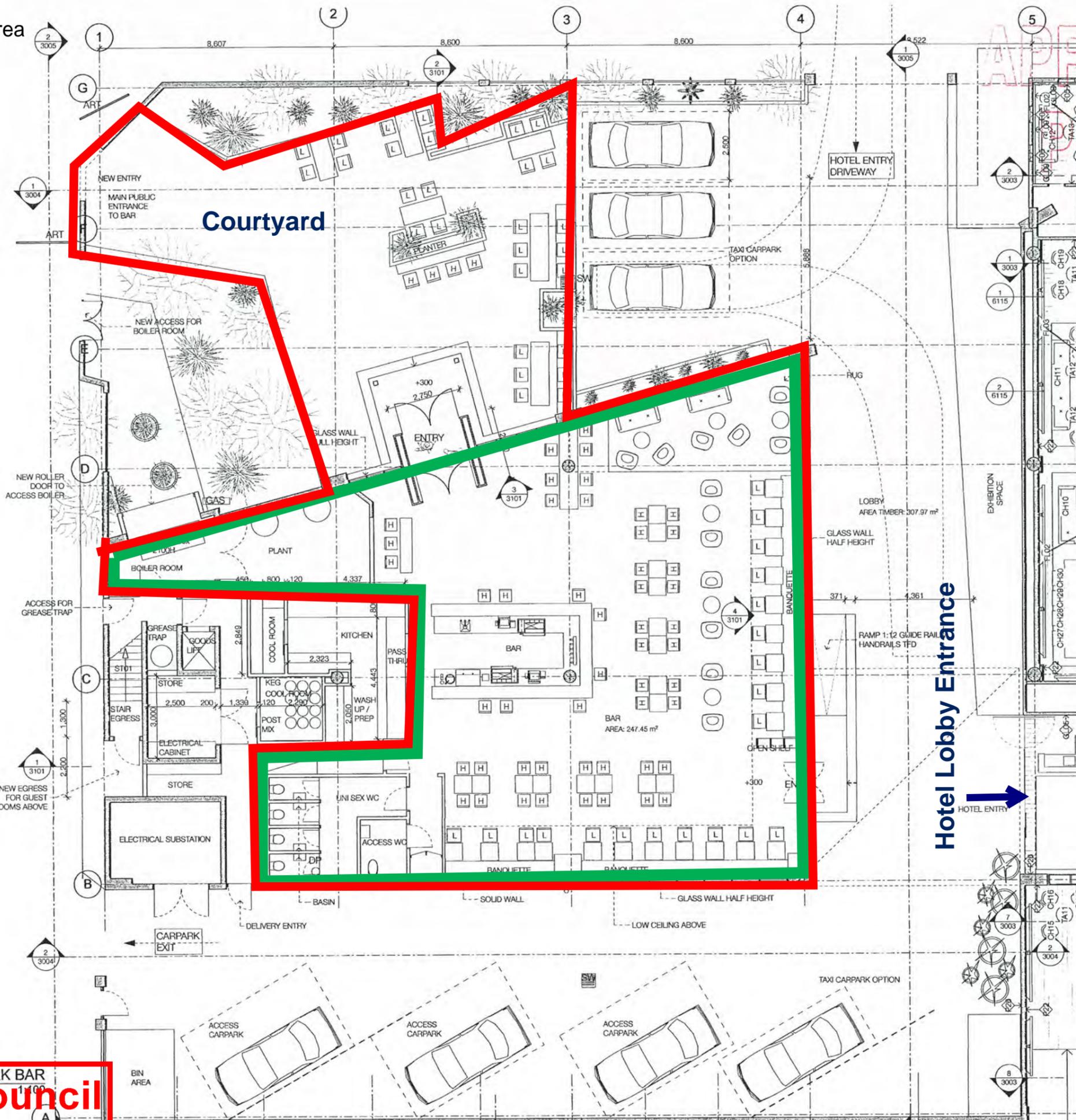
Wellington

LOCATION PLAN



Wellington City Council
14 April 2020

 Licensed / Undesignated Area
 Supervised Area



APPROVED PLANS

PLANS APPROVED BY THE
 NOTICE OF DECISION
 Service Request No.
№ 360049



ALL DIMENSIONS TO BE CHECKED ONSITE BY BUILDER PRIOR TO CONSTRUCTION. DO NOT SCALE OFF THIS DRAWING

date	issue	amendment
6/05/2016	D	FOR INFORMATION
11/06/2016	E	FOR INFORMATION
19/05/2016	F	FOR COUNCIL CONSENT
24/05/2016	G	FOR AFC
25/05/2016	H	ISSUE FOR RESOURCE CONSENT

job name + address
QT WELLINGTON
 90 CABLE STREET
 WELLINGTON 6011
 job no. **1504**
 drawing title
**FLOOR PLANS
 PROPOSED 1:100
 STAGE 1B
 GRNDFL CAR PARK
 BAR OVERALL**

dwg no.	issue
2007	H
date	scale
14.04.16	to scale @A2
drawn	checked
BJD	SI

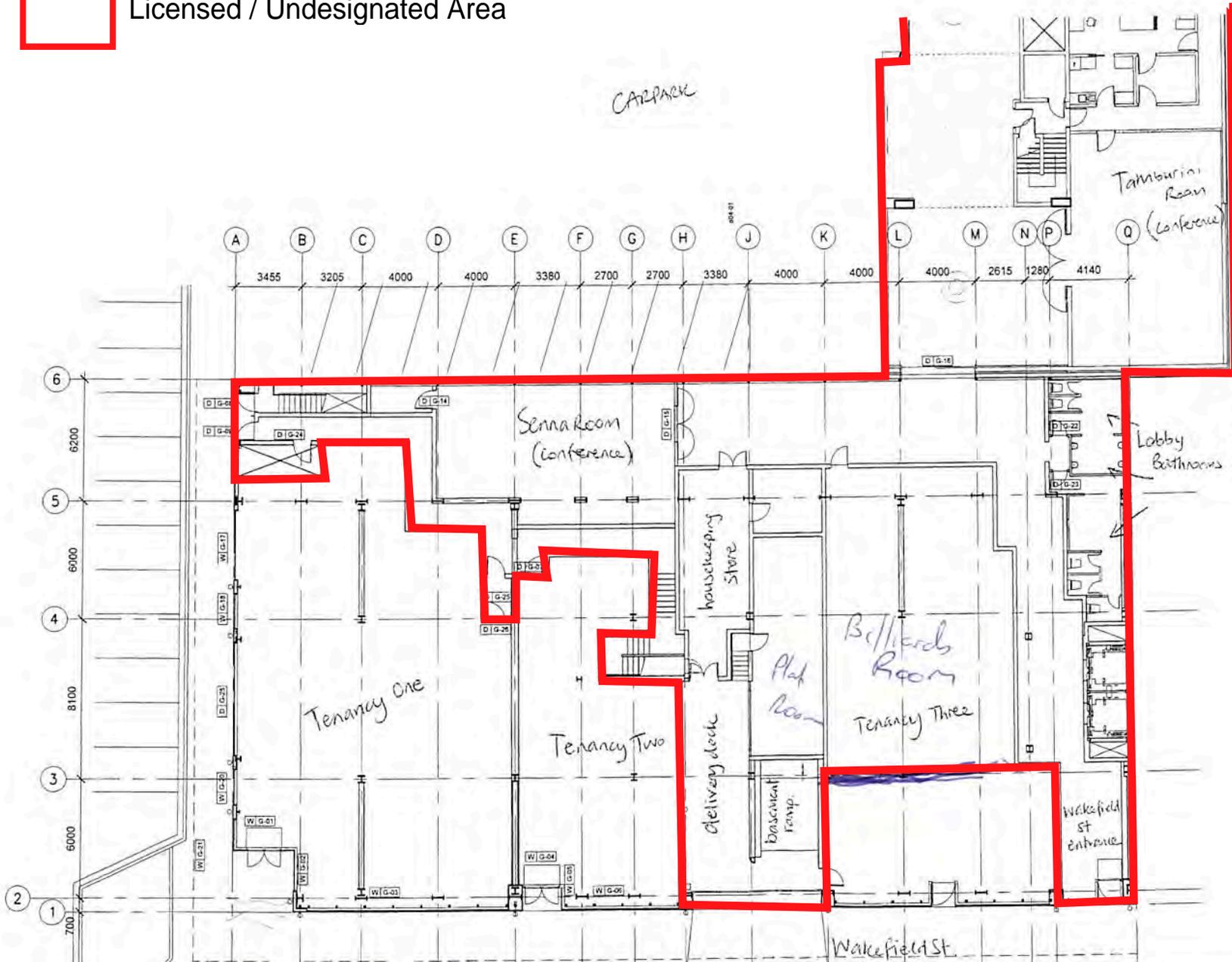
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 NSW Architects Reg. 6590
 T +612 9361 6650 F +612 9360 7953
 design@indykarchitects.com.au
indyk architects

Wellington City Council
14 April 2020



Licensed / Undesignated Area

CARPARK



contractor shall verify all dimensions and conditions on site before commencing work

this drawing shall be read in conjunction with all other relevant documents

- notes
- r3 : 20-07-04 detail note
 - r4 : 20-08-04 general notes
 - r5 : 27-08-04 general
 - r6 : 12-11-04 electrical cupboard notation
 - r7 : 16-12-04 toilets corridor doors link to hotel

LEGEND:

	Level Number
	Door or Window
	Apartment Number
	Sound rated wall with detailing to GBSA 300 - 150mm staggered steel stud with 2 layers 13mm Gb either side running full height to top slab with cavity blanket
	90mm stud with 1 layer 13mm gb to each side, 50 stud for cavity slider walls only
	Fire rated wall (-3000) with detailing to GBS 30 - 70mm steel stud with 1 layer 13mm gb to each side

job

museum apartments
247 wakefield st
wellington

2003cp1/ma001

drawing
ground plan

sheet
a02-02
revision
r7

Wellington City Council
14 April 2020

Wellington City Council 14 April 2020

 Licensed / Undesignated Area



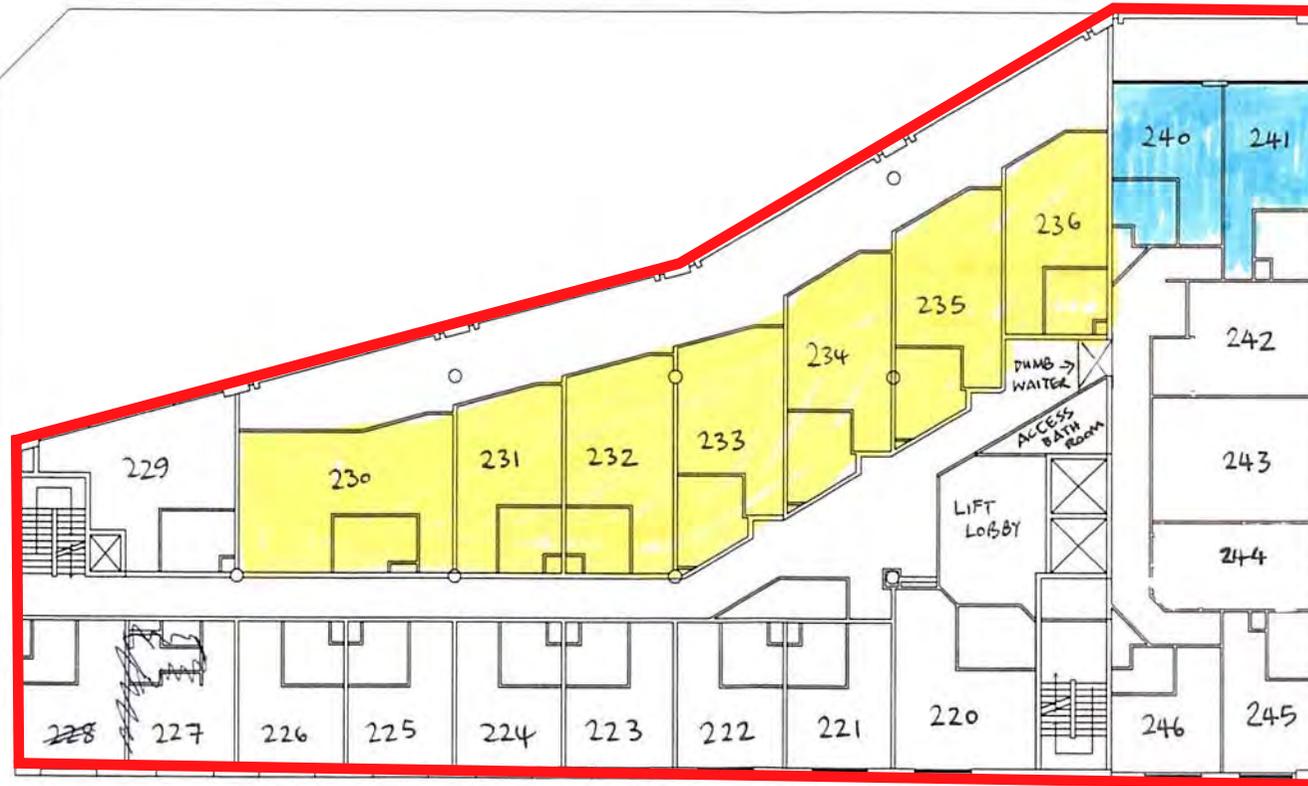
Unrefurbished

first floor plan - 1:200

Wellington City Council 14 April 2020



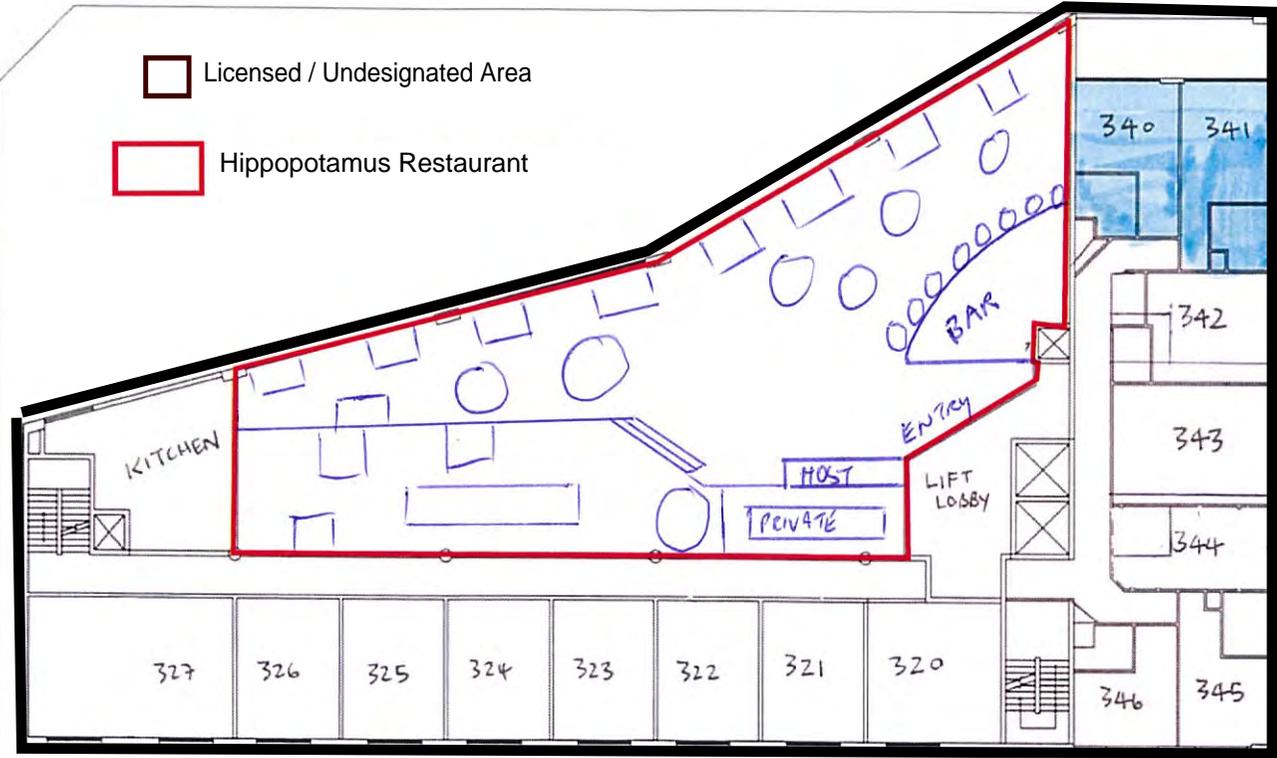
Licensed / Undesignated Area



second floor plan - 1:200

Wellington City Council

14 April 2020



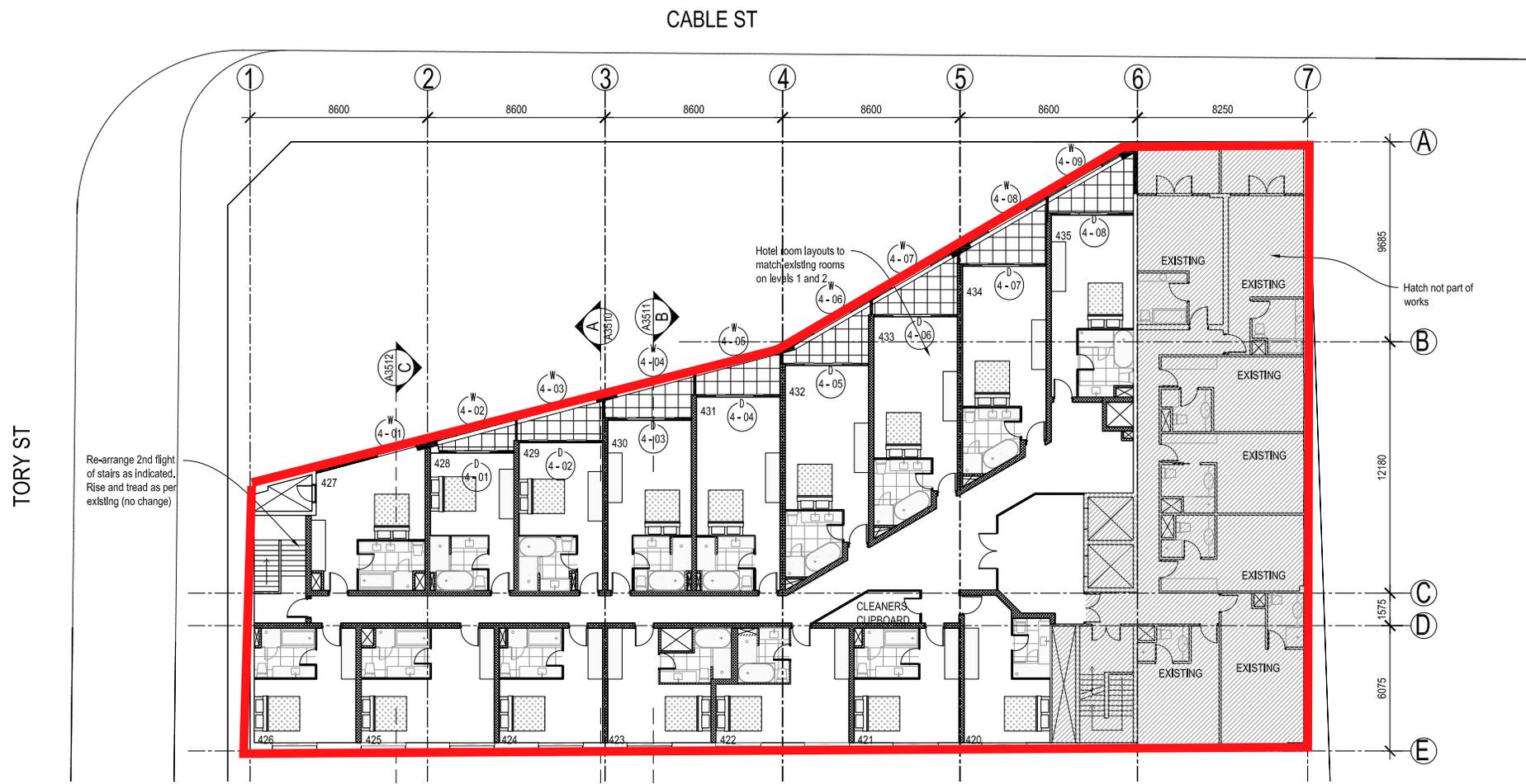
third floor plan - 1:200

Wellington City Council
Wellington
14 April 2020

Wellington City Council

14 April 2020

 Licensed / Undesignated Area



01 Proposed Fourth Floor Plan - 2014
SCALE = 1:200

Wall Legend

	Existing walls
	New exterior walls, double timber framing, 375mm wide, 140x45 @ 600 ctrs. H1.2
	New deck walls, 90x45 @ 300 ctrs. H1.2. JHITV60

THE BUILDER IS RESPONSIBLE FOR THE SETTING OUT OF THE WORKS, THE CHECKING OF ALL DIMENSIONS AND LEVELS ON SITE, AND THE REPORTING OF ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK. WORKS TO COMPLY WITH NZBC & NZ STANDARDS

DO NOT SCALE FROM THIS DRAWING

G:\CGM + F PROJECT\2013\1311 Museum Hotel Bathrooms\Museum Hotel Fourth Floor - TA Consent\Building Consent\layouts BC - Hotel fourth floor conversion	
DATE	REVISION Building Consent Issue
PROJECT	
Museum Hotel Fourth Floor Additions and Alterations	
ADDRESS	
90 Cable St, Wellington	
CLIENT	Museum Hotel
DATE:	22.08.2013
SCALE @ A3	1:200



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REV NO.	DATE	DESCRIPTION
A	2017.05.11	Proposed 4th Floor Plan 2014

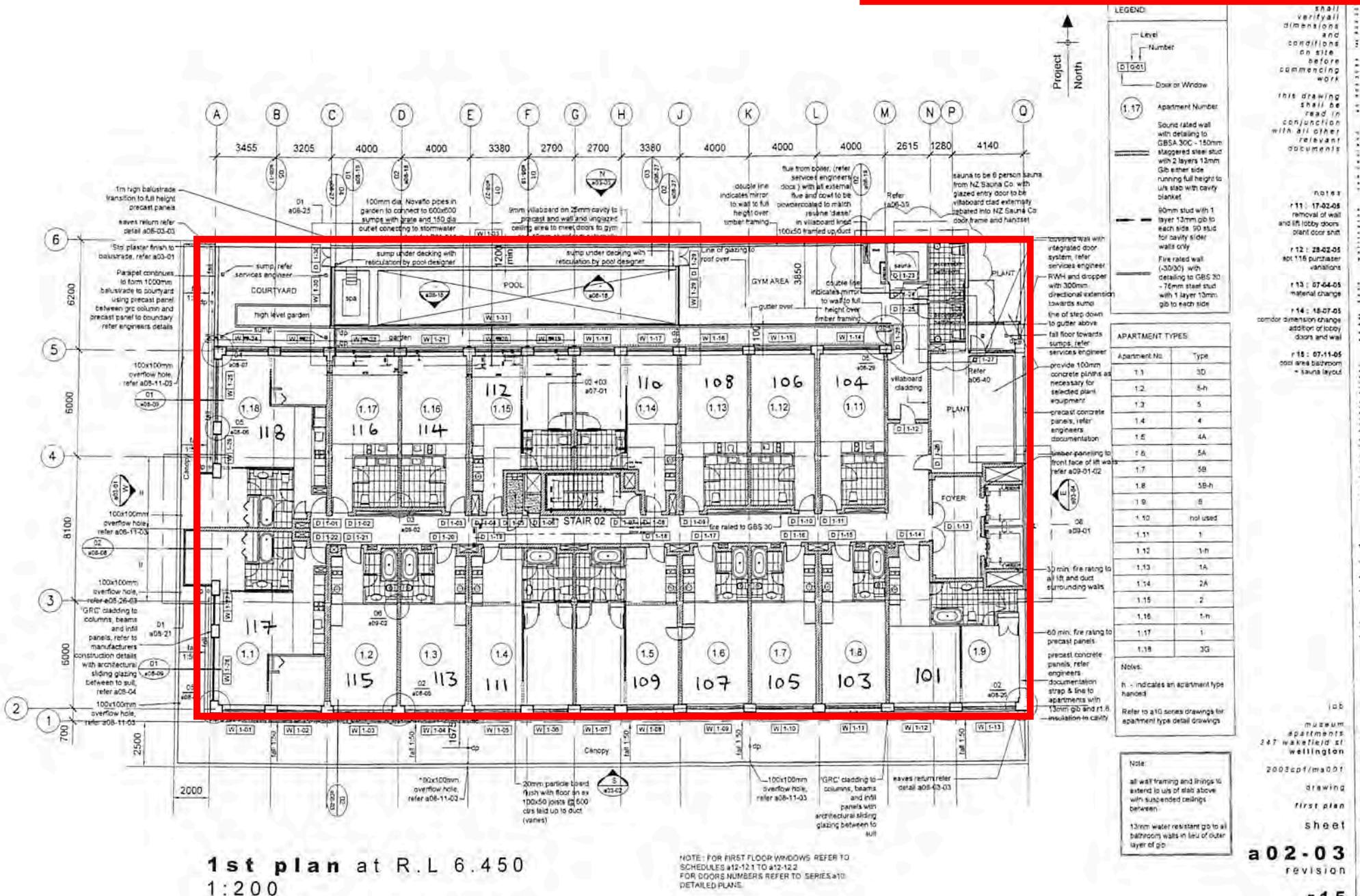
CLIENT:	Foster + Melville
DATE:	11/05/2017
JOB NO.:	J580

TITLE:	PROPOSED 4th FLOOR PLAN - 2014
SECTION:	
SHEET:	SK02
SCALE:	



Licensed / Undesignated Area

Wellington City Council 14 April 2020



LEGEND

- Level Number
- Door or Window
- Apartment Number
- Sound rated wall with detailing to CBSA-300 - 150mm staggered steel stud with 2 layers 13mm Gb ether side running full height to ult sto with cavity blanked
- 80mm stud with 1 layer 13mm gip to each side 90 stud for cavity slider walls only
- Fire rated wall detailing to GBS 30 - 75mm steel stud with 1 layer 13mm gip to each side

APARTMENT TYPES

Apartment No.	Type
1.1	3D
1.2	5-h
1.3	5
1.4	4
1.5	4A
1.6	5A
1.7	5B
1.8	5B-h
1.9	8
1.10	not used
1.11	1
1.12	1-h
1.13	1A
1.14	2A
1.15	2
1.16	1-h
1.17	1
1.18	3G

Notes:

- h - indicates an apartment type handed
- Refer to a10 series drawings for apartment type detail drawings

Note:

- all wall framing and linings to extend to ult of slab above with suspended ceilings between
- 13mm water resistant gip to all bathroom walls in lieu of outer layer of gip

Notes:

- r11: 17-02-05 removal of wall and lift lobby doors plant door shut
- r12: 28-02-05 spt 116 purstaster vanations
- r13: 07-04-05 material change
- r14: 18-07-05 corridor dimension change add floor of lobby doors and wall
- r18: 07-11-05 pool area bathroom - sauna layout

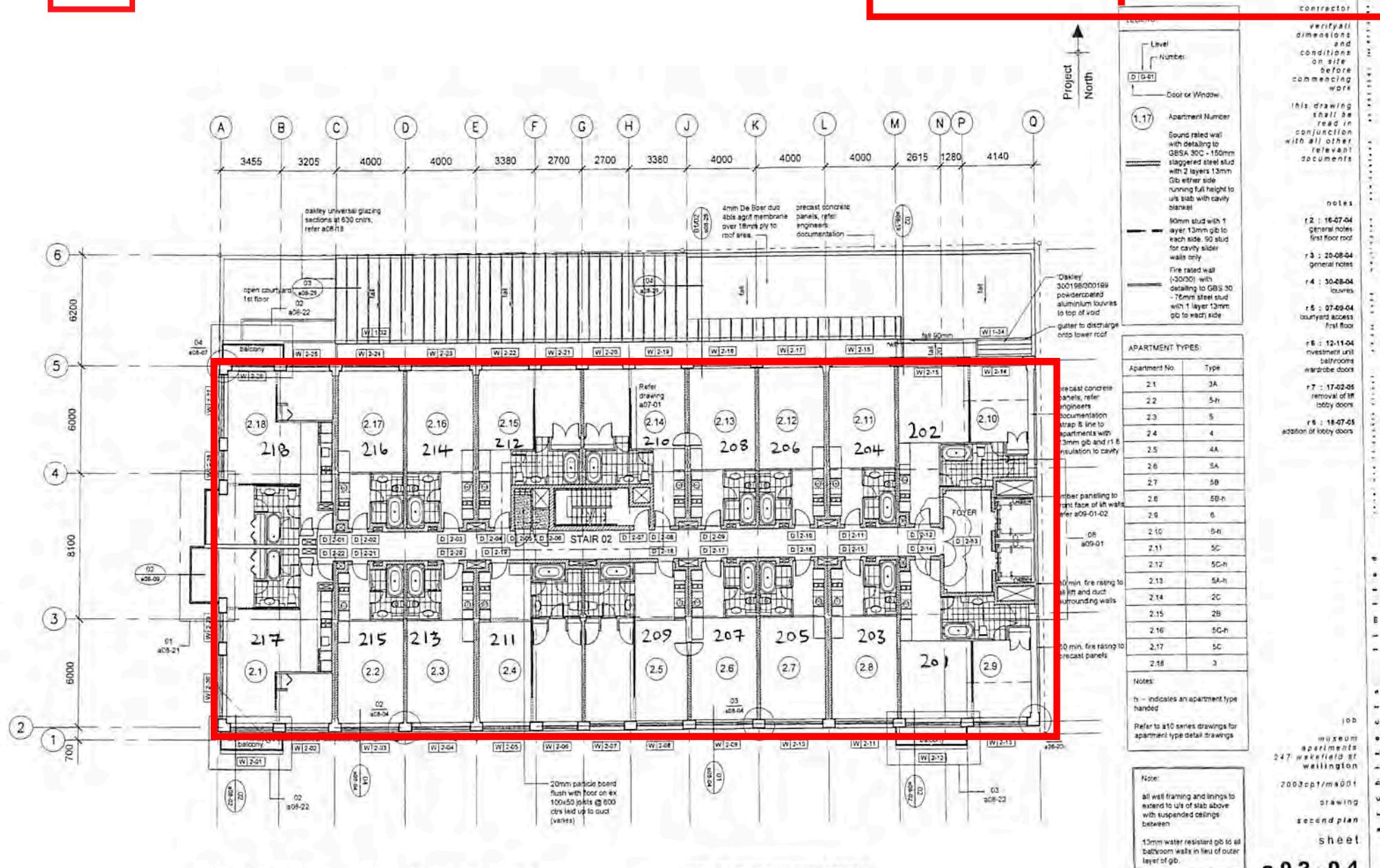
Project North

100
MUSEUM
APARTMENTS
247 WAKEFIELD ST
WELLINGTON
2003cpf/ma001
drawing
first plan
sheet
a02-03
revision
r15

Wellington City Council 14 April 2020



Licensed / Undesignated Area



Contractor

verify all dimensions and conditions on site before commencing work

this drawing shall be read in conjunction with all other relevant documents

notes

r2 : 16-07-04 general notes first floor roof

r3 : 20-08-04 general notes

r4 : 30-08-04 louvers

r5 : 07-09-04 courtyard access first floor

r6 : 12-11-04 investment unit bathrooms wardrobe doors

r7 : 17-02-05 removal of lift lobby doors

r8 : 18-07-05 addition of lobby doors

job

museum apartments 247 Wakefield St Wellington

2003opt/m#a001

drawing

second plan

sheet

a02-04

revision

r8

Level Number: D/G-01

Door or Window: 1.17

Apartment Number

Sound rated wall with detailing to GBSA 30C - 150mm staggered steel stud with 2 layers 13mm Gb either side running full height to u/s slab with cavity blanket

80mm stud with 1 layer 13mm gb to each side 90 stud for cavity slider walls only

Fire rated wall (3000) with detailing to GBS 30 - 75mm steel stud with 1 layer 13mm gb to each side

APARTMENT TYPES:

Apartment No.	Type
2.1	3A
2.2	5-h
2.3	5
2.4	4
2.5	4A
2.6	5A
2.7	5B
2.8	5B-h
2.9	6
2.10	5-h
2.11	5C
2.12	5C-h
2.13	5A-h
2.14	2C
2.15	2B
2.16	5C-h
2.17	5C
2.18	3

Notes:

h - indicates an apartment type number

Refer to A10 series drawings for apartment type detail drawings

Note:

all wall framing and linings to extend to u/s of slab above with suspended ceilings between

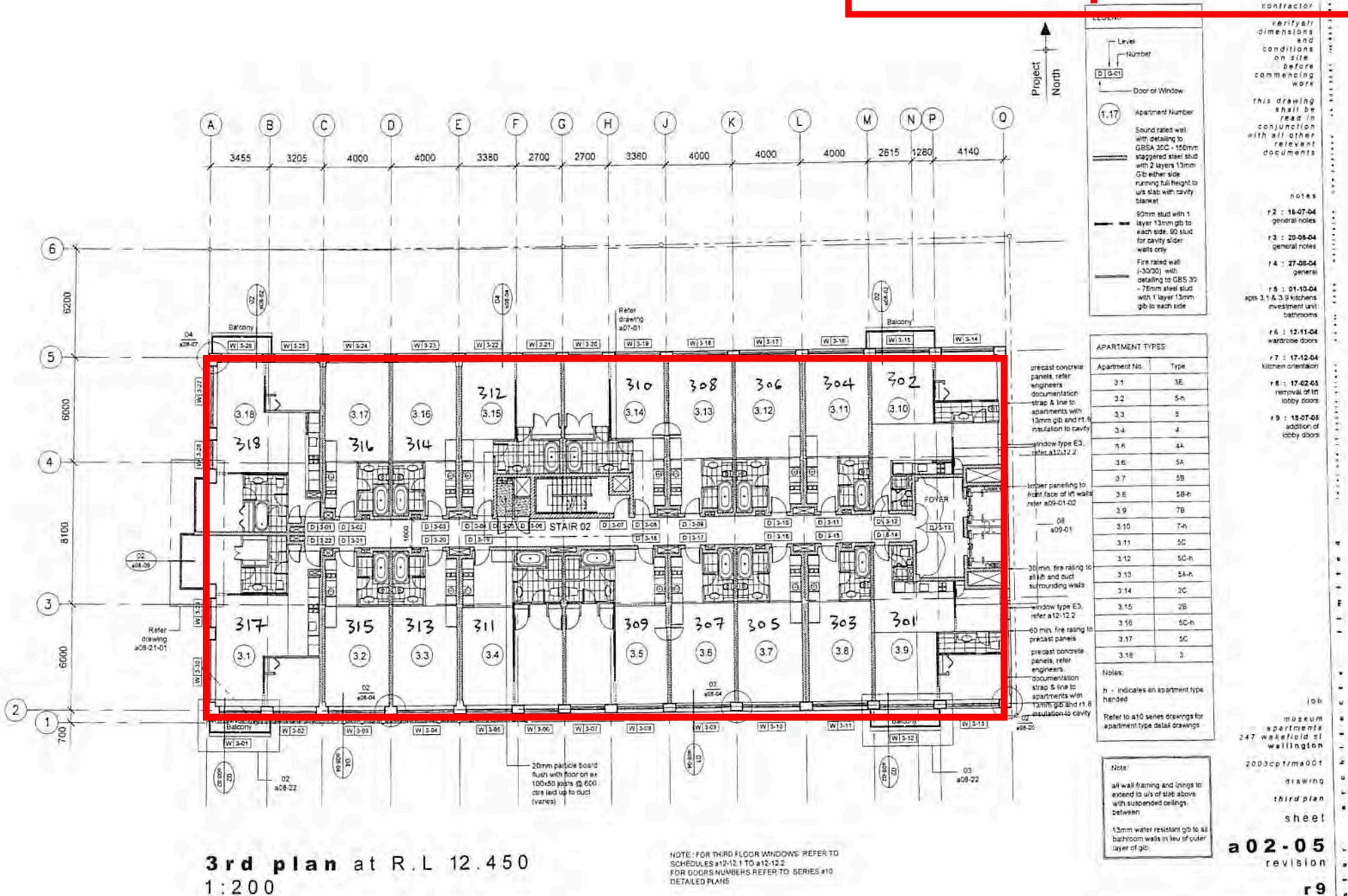
15mm water resistant gb to all bathroom walls in lieu of outer layer of gb.

2nd plan at R.L. 9.450
1:200

NOTE: FOR SECOND FLOOR WINDOWS REFER TO SCHEDULES A12-1 TO A12-122 FOR DOOR NUMBERS REFER TO SERIES A10 DETAILED PLANS.



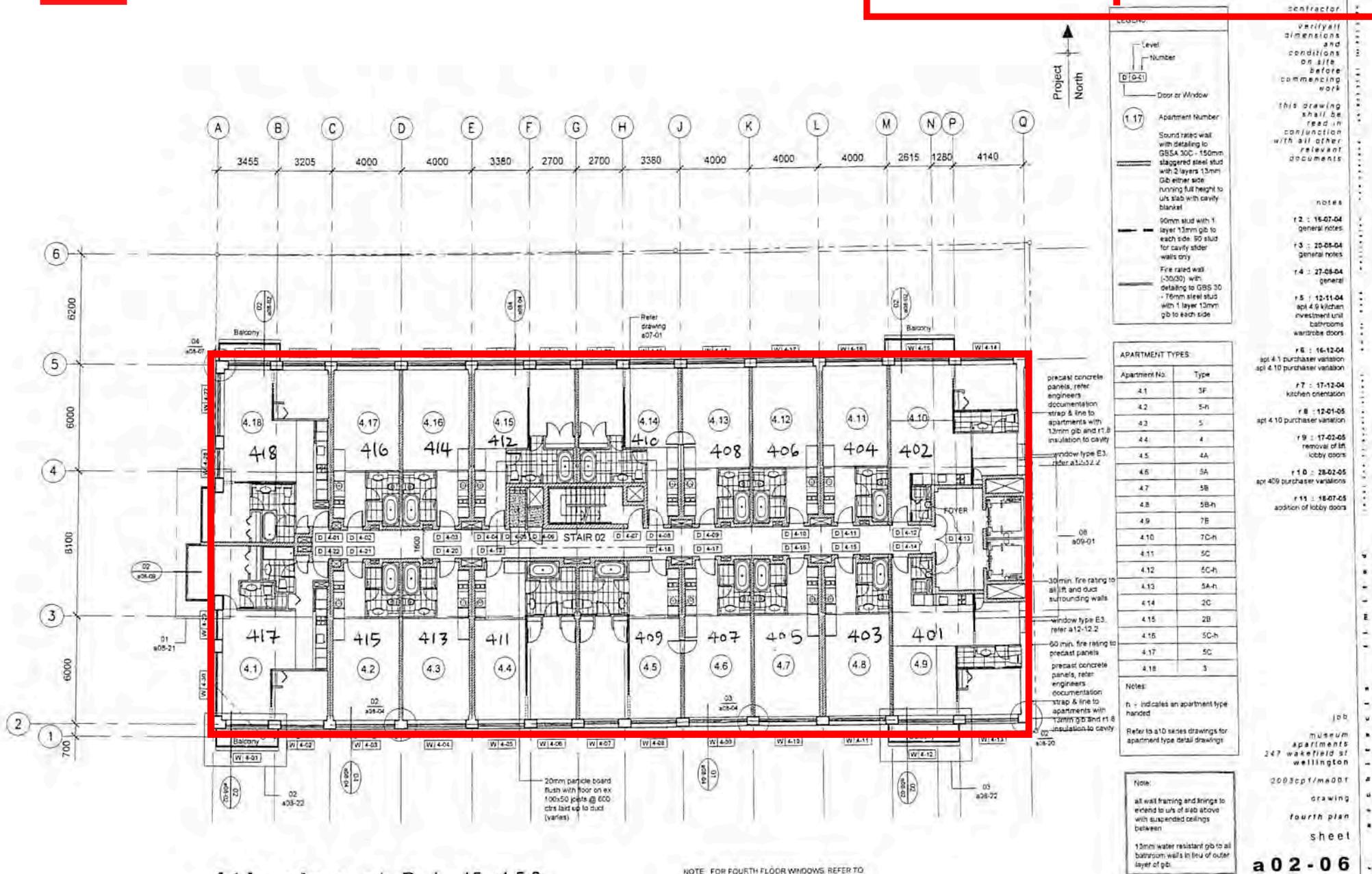
Licensed / Undesignated Area





Licensed / Undesignated Area

Wellington City Council 14 April 2020



4th plan at R.L 15.450
1:200

NOTE: FOR FOURTH FLOOR WINDOWS REFER TO SCHEDULES a12-11 TO a12-12 FOR DOOR NUMBERS REFER TO SERIES a10 DETAILED PLANS.

LEGEND

- Level Number
- Door or Window
- Apartment Number
- Sound rated wall with detailing to GBSA 30C - 150mm staggered steel stud with 2 layers 13mm gb either side running full height to u/s slab with cavity blanket
- 90mm stud with 1 layer 13mm gb to each side. 90 stud for cavity slider walls dry
- Fire rated wall (3000) with detailing to GBS 30 - 76mm steel stud with 1 layer 13mm gb to each side

APARTMENT TYPES

Apartment No.	Type
4.1	3F
4.2	5-n
4.3	5
4.4	4
4.5	4A
4.6	5A
4.7	5B
4.8	5B-n
4.9	7B
4.10	7C-n
4.11	5C
4.12	5C-n
4.13	5A-n
4.14	2C
4.15	2B
4.16	5C-h
4.17	5C
4.18	3

Notes:

- n - indicates an apartment type handed
- Refer to a10 sides drawings for apartment type detail drawings

Note:

- all wall framing and linings to extend to u/s of slab above with suspended ceilings between
- 13mm water resistant gb to all bathroom walls in lieu of outer layer of gb

Contractor
Verify all dimensions and conditions on site before commencing work
this drawing shall be read in conjunction with all other relevant documents

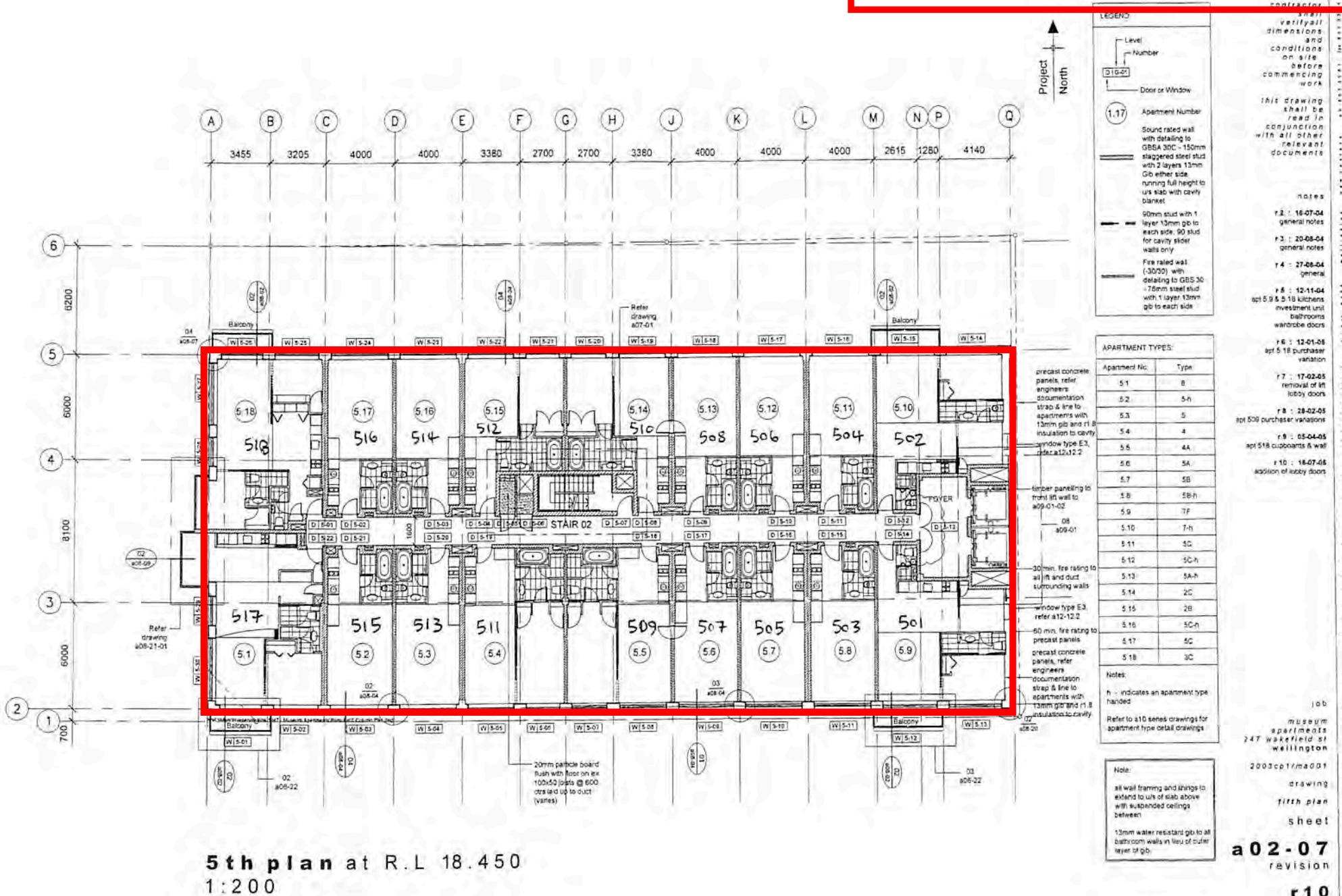
notes

- r.2 : 16-07-04 general notes
- r.3 : 20-08-04 general notes
- r.4 : 27-08-04 general
- r.5 : 12-11-04 general investment unit bathrooms wardrobe doors
- r.6 : 16-12-04 apt 4.1 purchaser variation apt 4.10 purchaser variation
- r.7 : 17-12-04 kitchen orientation
- r.8 : 12-01-05 apt 4.10 purchaser variation
- r.9 : 17-02-05 removal of lift lobby doors
- r.10 : 28-02-05 apt 409 purchaser variations
- r.11 : 18-07-05 addition of lobby doors

job
Museum apartments
247 Wakefield St Wellington
2003cp1/me001
drawing
fourth plan
sheet
a02-06
revision
r11



Licensed / Undesignated Area



Project North

LEGEND

- Level Number
- Door or Window
- Apartment Number
- Sound rated wall with detailing to GBSA 30C - 150mm staggered steel stud with 2 layers 13mm Gb either side running full height to top slab with cavity blanket
- 90mm stud with 1 layer 13mm gb to each side, 90 stud for cavity slider walls only
- Fire rated wall (-3050) with detailing to GBSA 30 - 70mm steel stud with 1 layer 13mm gb to each side

APARTMENT TYPES:

Apartment No.	Type
5.1	B
5.2	5-h
5.3	5
5.4	4
5.5	4A
5.6	5A
5.7	5B
5.8	5B-h
5.9	7F
5.10	7-h
5.11	5C
5.12	5C-h
5.13	5A-h
5.14	2C
5.15	2B
5.16	5C-h
5.17	5C
5.18	3C

Notes:
h - indicates an apartment type handed

Refer to A10 series drawings for apartment type detail drawings

Note:
all wall framing and things to extend to top of slab above with suspended ceilings between
13mm water resistant gb to all bathroom walls in lieu of buffer layer of gb

Contractor shall verify all dimensions and conditions on site before commencing work

This drawing shall be read in conjunction with all other relevant documents

notes

- r.2 : 16-07-04 general notes
- r.3 : 20-08-04 general notes
- r.4 : 27-06-04 general
- r.5 : 12-11-04 apt 5.9 & 5.10 kitchens investment unit bathrooms wardrobe doors
- r.6 : 12-01-08 apt 5.18 purchaser variation
- r.7 : 17-02-05 removal of lift lobby doors
- r.8 : 28-02-05 apt 5.09 purchaser variations
- r.9 : 05-04-05 apt 5.18 cupboards & wall
- r.10 : 16-07-06 addition of lobby doors

job

museum apartments
247 Wakefield St
Wellington

2003cpl/mad01

drawing

fifth plan

sheet

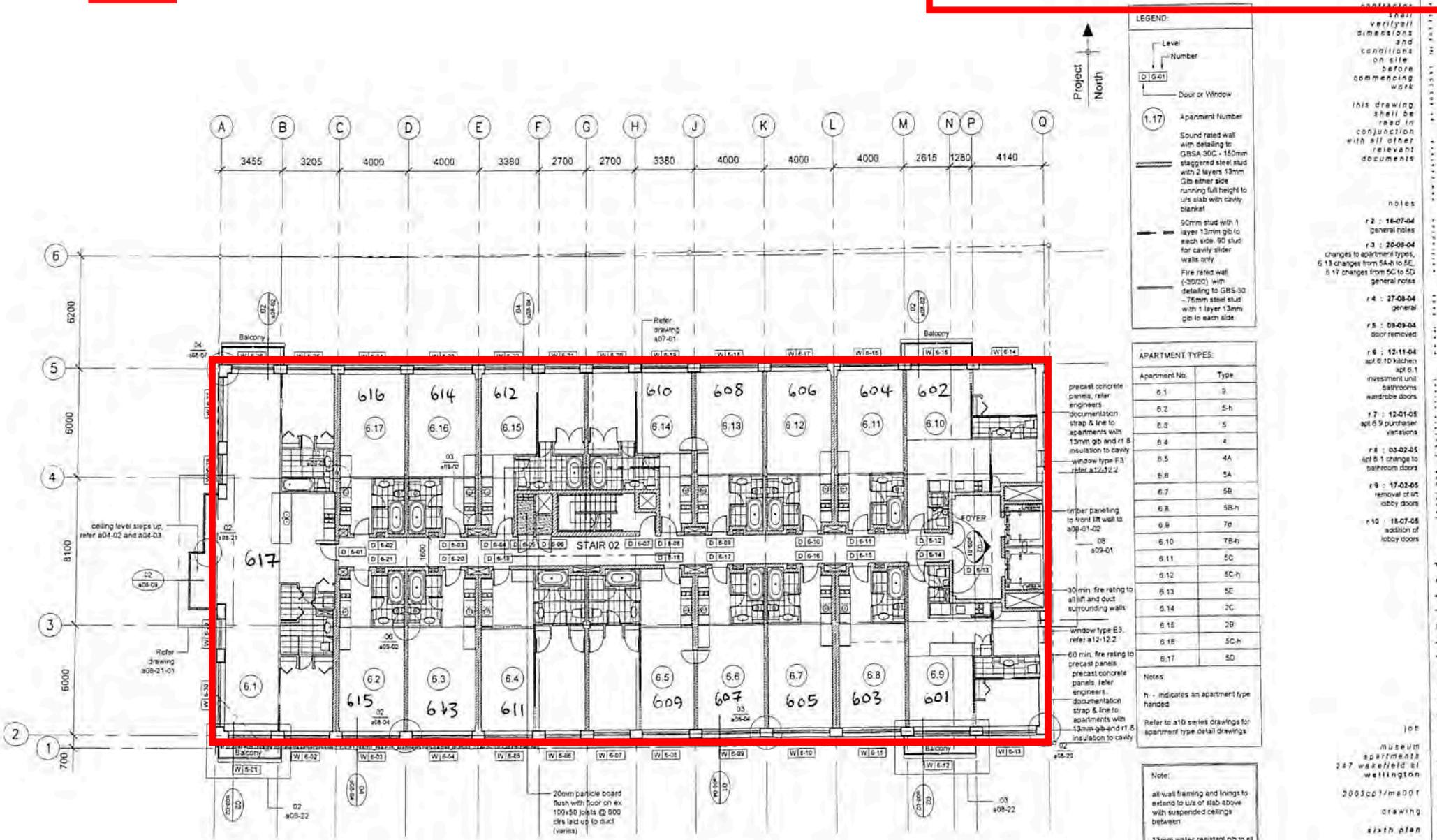
a 02-07
revision

r 10



Licensed / Undesignated Area

Wellington City Council 14 April 2020



LEGEND:

- Level Number
- Door or Window
- Apartment Number
- Sound rated wall with detailing to GBSA 30C - 150mm staggered steel stud with 2 layers 13mm gb either side running full height to u/s slab with cavity blanket
- 50mm stud with 1 layer 13mm gb to each side, 90 stud for cavity slider walls only
- Fire rated wall (30/20) with detailing to GBS 30 - 75mm steel stud with 1 layer 13mm gb to each side

APARTMENT TYPES:

Apartment No.	Type
6.1	9
6.2	5-h
6.3	5
6.4	4
6.5	4A
6.6	5A
6.7	5B
6.8	5B-h
6.9	7a
6.10	7B-h
6.11	5C
6.12	5C-h
6.13	5E
6.14	2C
6.15	2B
6.16	5C-h
6.17	5D

Notes:

- h - indicates an apartment type handed
- Refer to a10 series drawings for apartment type detail drawings

Note:

all wall framing and linings to extend to u/s of slab above with suspended ceilings between

13mm water resistant gb to all bathroom walls in lieu of outer layer of gb.

shall verify all dimensions and conditions on site before commencing work

This drawing shall be read in conjunction with all other relevant documents

notes

- r2 : 16-07-04 general notes
- r3 : 20-08-04 changes to apartment types, 6.13 changes from 5A-h to 5E, 6.17 changes from 5C to 5D general notes
- r4 : 27-08-04 general
- r5 : 09-09-04 door removed
- r6 : 12-11-04 apt 6.10 kitchen apt 6.1 investment unit bathroom wardrobe doors
- r7 : 12-01-05 apt 6.9 purifier variations
- r8 : 03-02-05 apt 6.1 change to bathroom doors
- r9 : 17-02-05 removal of lift lobby doors
- r10 : 15-07-05 addition of lobby doors

sixth plan at R.L 21.450
1:200

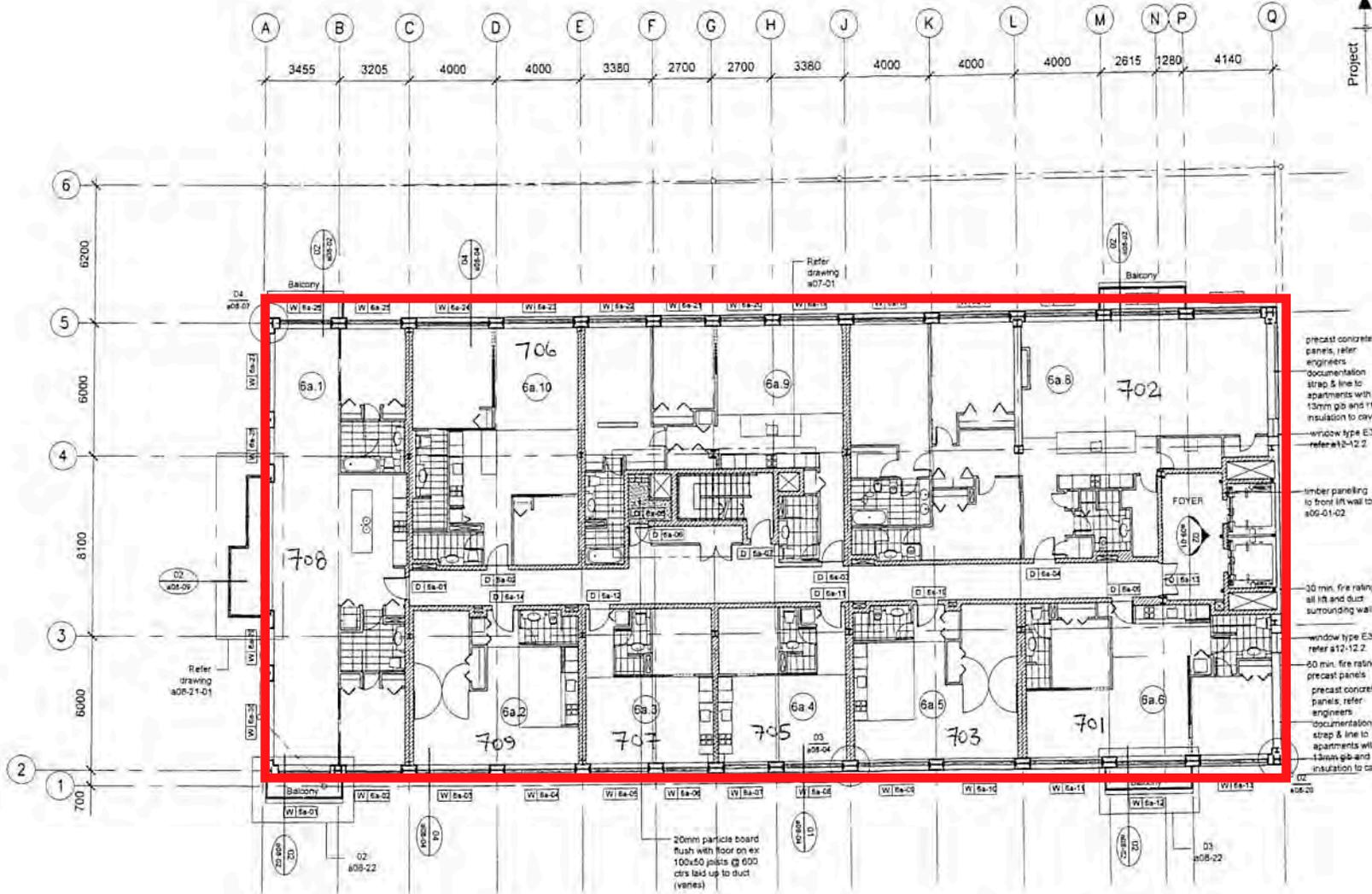
NOTE: FOR SIXTH FLOOR WINDOWS, REFER TO SCHEDULES a12-12.1 TO a12-12.2 FOR DOORS NUMBERS REFER TO SERIES a10 DETAILED PLANS

museu
apartments
247 waterfield st
wellington
2003cplme00f
drawing
sixth plan
sheet
a02-08
revision
r10



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7th plan at R.L. 24.450
1:200

NOTE: FOR FLOOR 6a WINDOWS REFER TO SCHEDULES #12-21 FOR DOOR NUMBERS REFER TO SERIES #10 DETAILED PLANS.

LEGEND:

- Level Number
- Door or Window
- Apartment Number
- Sound rated wall with detailing to GBSA-30C - 150mm staggered steel stud with 2 layers 13mm Gb either side running full height to u/s slab with cavity blanket
- 90mm stud with 1 layer 13mm gb to each side, 90 stud for cavity slider wets only
- Fire rated wall (-30/30) with detailing to GBS 30 - 75mm steel stud with 1 layer 13mm gb to each side

APARTMENT TYPES

Apartment No.	Type
6a.1	19
6a.2	20
6a.3	21
6a.4	21A
6a.5	20A
6a.6	22
6a.7	not used
6a.8	24
6a.9	25
6a.10	24A

Notes:
h - indicates an apartment type handed

Refer to a10 series drawings for apartment type detail drawings.

Note:
all wall framing and linings to extend to u/s of slab above with suspended ceilings between

13mm water resistant gb to all bathroom walls in lieu of outer layer of gb

contractor
verify all dimensions and conditions on site before commencing work
this drawing shall be read in conjunction with all other relevant documents

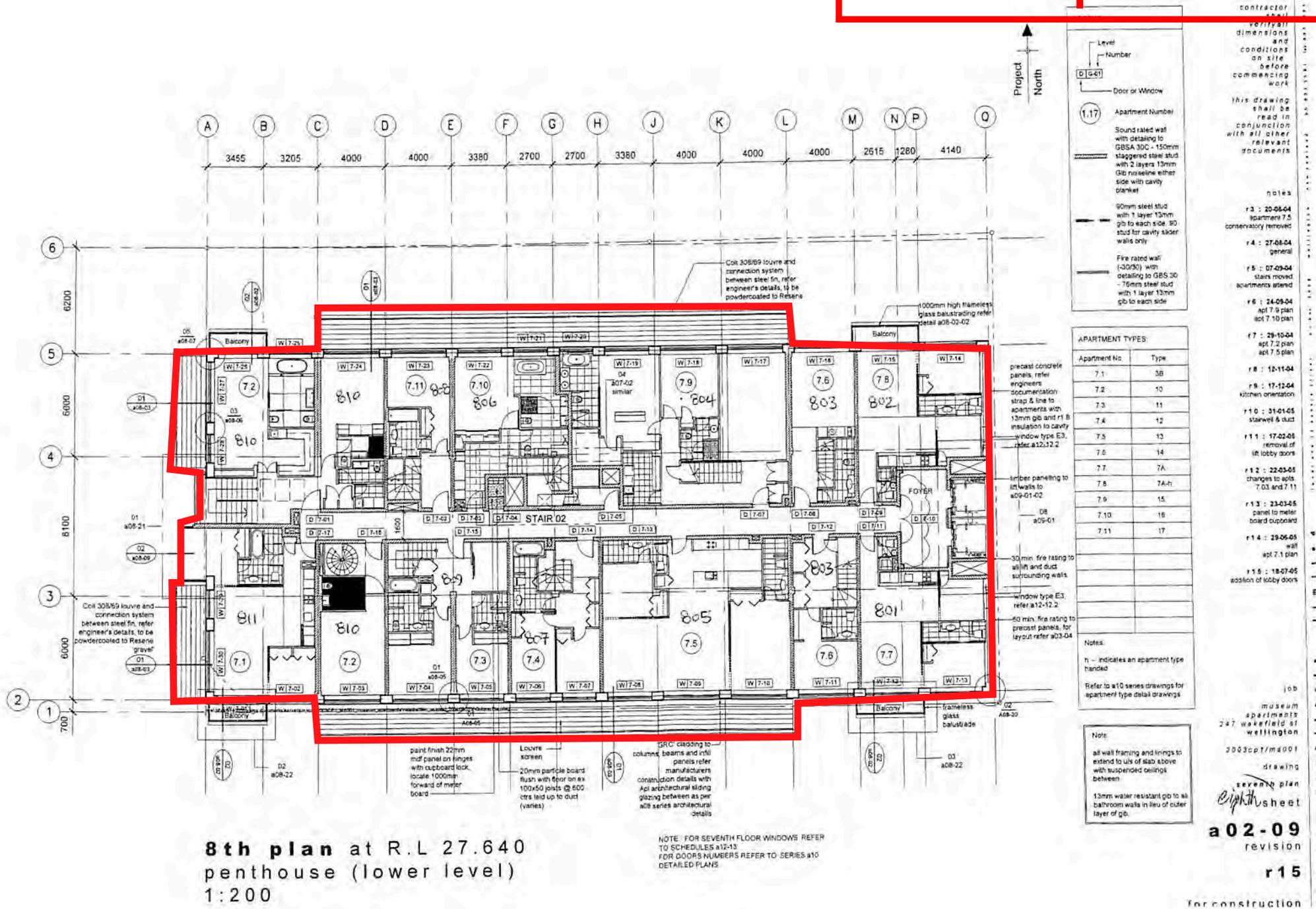
- notes
- r2 : 20-08-04 kitchens
 - r3 : 12-11-04 apt 6a.1
 - r5 : 12-01-05 apt 6a.7 purchaser variation
 - r6 : 18-01-05 apt 6a.7 bathroom
 - r7 : 05-02-05 apt 6a.1 bathroom door changes
 - r8 : 17-03-05 addition of laundry
 - r9 : 27-04-05 6a.3 & 6a.4 walls moved
 - r10 : 17-06-05 6a.07 and 6a.08 merged
 - r11 : 27-06-05 apt type 24 layout finalised

20030p1/m4001
drawing
six (6a) plan
sheet
a02-12
revision
r11
for construction



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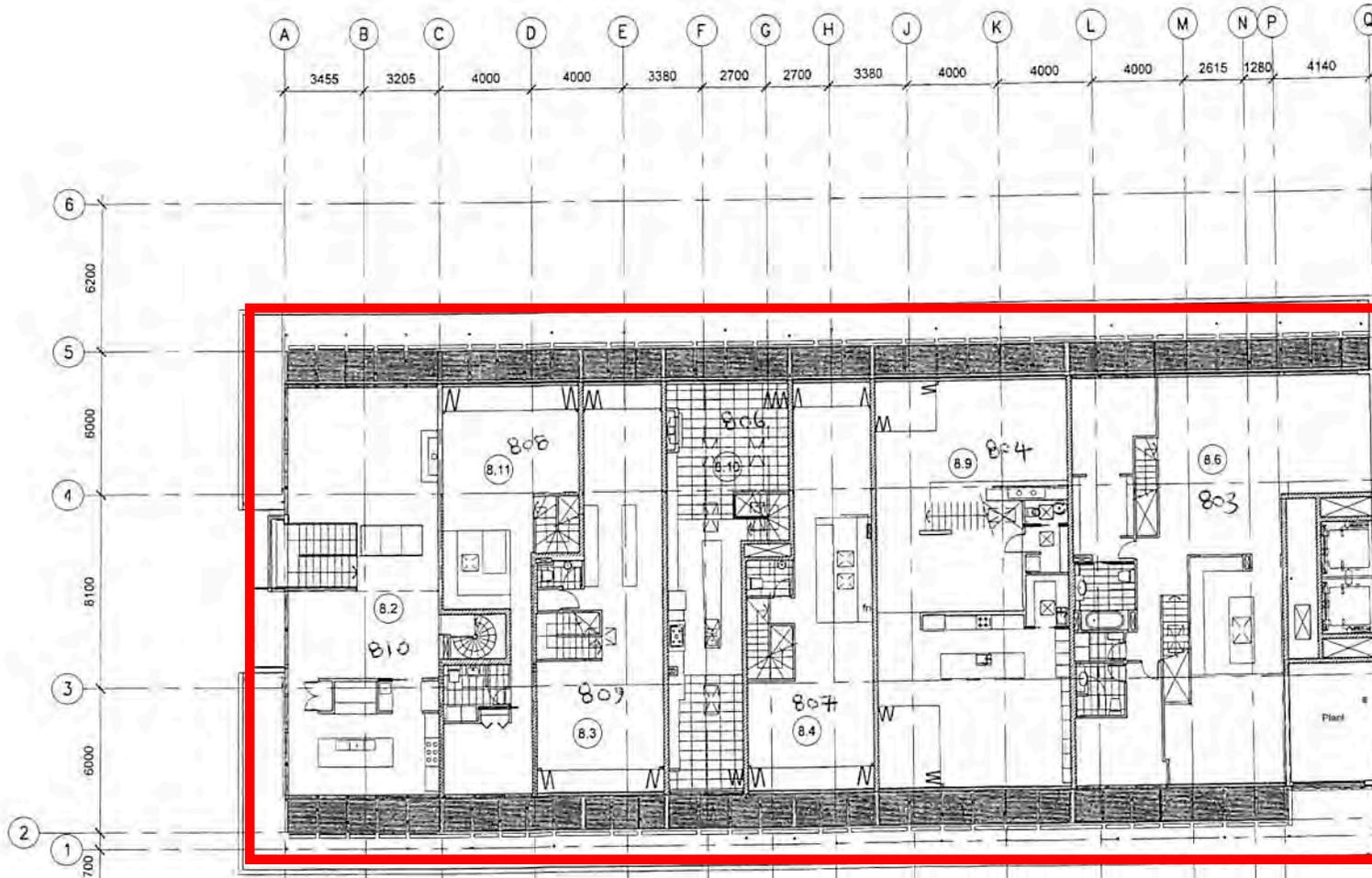
a02-09
revision

r15

for construction



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9th plan at R.L 30.830
 penthouse (upper level)
 1:200

contractor shall
 dimensions and conditions on site before commencing work
 this drawing shall be read in conjunction with all other relevant documents

- notes
- r7 : 24-09-04
 duct apt 8.4
 plan apt 8.9
 apt 8.6 exterior & conservatory
 plan apt 8.10
 - r8 : 12-11-04
 - r9 : 20-01-05
 deck added
 - r10 : 22-03-05
 attic stair and roof access hatch
 changes to bathrooms
 for apt 8.03 and 8.11
 - r11 : 31-03-05
 change to kitchens and skylights to apt 8.04 and 8.11
 2 new ducts
 - r12 : 12-04-05
 change to kitchen in apt 8.03
 - r13 : 02-06-05
 detail ref
 - r14 : 17-06-05
 L8 bifolds replaced with sliders
 - r15 : 10-08-05
 int bifold to 8.3
 bathroom/duct layout to 8.4
 - r16 : 12-08-05
 conservatory doors to 8.6 removed

job
 museum apartments
 247 wakefield st
 wellington
 2003cpt/ma001
 drawing
 sheet
a02-10
 revision
r 16
 for titles

8.5