

ARCHITECTURAL DESIGN STATEMENT

Executive Summary

Ryman has lodged a resource consent application (Ref: SR47160, dated 1st September 2020) with Wellington City Council (“Council”) for a proposed comprehensive care retirement village (“Proposed Village”) at 26 Donald Street and 37 Campbell Street, Karori, Wellington (“Site”).

The design rationale for the Proposed Village will be discussed within this report, including the existing site opportunities and constraints that have informed the layout of buildings. This report also covers the design development process of options and selection of the preferred scheme, including the adaptative re-use of the existing buildings and design and development of new buildings proposed on the Site.

In response to feedback from the Council during 2021, parts of the design of the Proposed Village were refined. This process has resulted in changes to Building B01B (part of the Village Centre buildings), Building B02 aligning Campbell Street, Building B07 aligning Donald Street to improve the relationship to the streetscape and surrounding residential context. Changes have been made to the façade treatment of Buildings B03, B04, B05 and B06 to provide continuity and compatibility with Building B02 and B07. Figure 1 shows the locations of these buildings.

The Ryman architectural team has been guided by the following consultants in particular through the design process:

- Rebecca Skidmore of R A Skidmore Urban Design Limited;
- Andrew Burns of McIndoe Urban through the 2021 design change process and Clinton Bird of Clinton Bird Urban Design earlier in the design process; and
- Dave Pearson of Dave Pearson Architects.

This statement should also be read alongside the reports prepared by those consultants.



Figure 1 - Site Plan

The Existing Site

The Site previously contained the Wellington Teachers Training College. The College consisted of approximately 14 buildings spread over the 3.056ha undulating property.

The Teachers' College buildings were primarily orientated on axis North/South with access from both Donald Street to the east and Campbell Street to the west.

Neighbouring properties to the north consist of a community pool, Karori Normal School, a play centre, and a mix of residential housing. To the east, south and west, the neighbouring properties mainly consist of a mix a residential housing types. The local Karori shopping centre and mixed retail are on Karori Road a short walk to the north.

The main feature of the Site and a key driver for the Proposed Village design response was the heritage significance of the Teachers' College campus, including the site layout, the configuration and form of buildings and their relationship to open spaces, including the well-established planting in the form of the Lopdell Gardens.

For a full explanation of the heritage significance of the Teachers' College buildings, please refer to the Heritage Report.



Figure 2: Site with former Teachers' College buildings. The Tennant Block, Allen Ward VC Hall and Oldershaw Octagonal Building have been retained.

The Architectural Proposal and Response

The Proposed Village design includes:

- A Village Centre containing communal amenities for residents, independent living apartments, assisted living suites and care rooms for rest home, hospital, and dementia level care;
- Six independent apartment buildings; and
- Parking (both on grade and covered) for residents, visitors, and staff.

A range of outdoor amenity areas are provided for residents including a bowling green in the former quad area, retained and enhanced areas of the Lopdell Gardens, proposed landscaped courtyards between buildings, and a proposed pocket park for resident and public use to the south east of the Site.

Refer to Figure 1 above for the Site Plan.

The architectural response is derived from several key factors that have influenced the overall design of the Proposed Village:

- The bulk, height and axis of the former Teachers' College buildings
- The surrounding environment, including neighbouring sites
- Structural integrity and safety of the Teachers' College buildings for retirement village use
- Heritage significance of the Teachers' College buildings
- The functional needs of the proposed buildings and their relationship with the surrounding context
- Daylight, Orientation and Massing
- Significance of the existing vegetation
- Impact of overland flows

The following sections of this report discuss each of these factors.

The bulk, height and axis of the former Teachers' College buildings

The former Teachers' College occupied the Site in a series of purpose-built education buildings between 1970 and 2016. The buildings were constructed in two stages creating an urban connection through the Site mostly on an east-west axis. Stage 1 was built on the north-eastern corner of the Site fronting onto Donald Street (Tennant, Allen Ward VC, Gray, Waghorn). Stage 2 was built on the northern central part of the Site (Malcolm and Pankhurst). The Lopdell Gardens between the Waghorn and Pankhurst Blocks marked the 'boundary' between Stages 1 and 2. Both stages were built in the 'Brutalist' architectural style, which makes extensive use of in-situ concrete and pre-cast concrete panels in a variety of textured finishes. The architecture is described in more detail in the Heritage Design Review by David Pearson Architects.

The Lopdell Gardens connect and integrate a changing topography from a high point in the north-east corner of the Site dropping along the north boundary towards the west and then further dropping south between the Waghorn and Pankhurst Blocks.

The scale, educational use and nature of the unusual Brutalist buildings contrasted markedly with the architecture and character of the neighbouring single and double storey residential buildings. The 10 storey high Malcolm Block with the large telecommunications aerials attached to its roof was a particularly distinctive, and prominent feature within the central Karori environment. The Teachers College' buildings became prominent components of the Karori townscape and have

had a major influence on the current character and amenity of the neighbourhood. As a result, the Site has become a highly visible and distinctive, institutional, 'landmark' feature of the immediate and wider Karori landscapes.



Figure 3: A view from Donald Street showing the Allen Ward Hall (left) and Tennant Block (right) to be retained.



Figure 4: A view from Donald Street showing the existing buildings to be retained with our proposed B07 building (left).



Figure 5: A view of the former 10 storey Malcolm Block (left), 4 storey Panckhurst Block (centre) and 3 storey Theatre Block (right).



Figure 6: A view of the proposed building B01B

The former Teachers' College buildings and the spaces between them have influenced the Proposed Village design, building orientation and placement. The proposed buildings create a series of 'U' shapes carefully located in the landscape to address the contours and create open courtyards orientated to the north.

The surrounding environment, including neighbouring sites

Wider context

The Site is located in the suburb of Karori, which is on the western edge of the urban area of Wellington, approximately 4km from the city centre. The Site sits within a predominantly residential context of single and occasionally two storey detached houses of varying characters.

Although predominantly residential in character, the wider context also includes the Karori Pool and the Karori Normal School to the immediate north, Samuel Marsden Collegiate School in Marsden Avenue to the east, the 'Karori Kids' pre-school and day-care centre at 29 Campbell Street, the Karori RSA Hall at 27A Campbell Street, the Karori shopping centre and commercial centre 0.5km to the north-west of the Site and two Churches are also located nearby.



Figure 7: The location of the Site showing the wider surrounding environment with both residential and commercial activities.

Northern boundary

The Site's northern boundary, and the northern half of its western boundary, adjoin a staggered boundary with a variety of immediately neighbouring land uses. Starting from Donald Street in the east, the Site adjoins the vehicular accessway and parking area running alongside the Karori Normal School to the Karori Pool.

Leading further westwards from the entrance to the Karori Pool is a sloping pathway which winds westwards down the hill past the Site to the flat lane leading to Campbell Street. The proposed fencing and boundary condition has been adjusted and moved to ensure this public pathway can remain in its current position. The western half of the northern boundary sits to the south of the lane connecting the base of the public pedestrian pathway to Campbell Street. It is bordered by residential properties at numbers 33 and 33A Campbell Street.



Figure 8: A view of the educational character of the Karori Normal School buildings.



Figure 9: A view of the public walkway along the northern boundary that connects Donald Street and Campbell Street.

Southern boundary

The relatively straight and linear southern boundary of the Site adjoins the side or rear of the following residential properties:

- i. 42 Donald Street
- ii. 6, 8, 10, 12, 14, 16, 18, 20, 22 and 24 Scapa Terrace
- iii. 45 and 49 Campbell Street

The land along the southern edges of the tennis and netball courts appears to have been excavated. There is an approximately 1.5m high on-site retaining wall between the courts and the fences on the original level of the land along the northern boundary of the Scapa Terrace properties.



Figure 10: The central portion of the southern boundary of the Site.

Eastern boundary

The eastern boundary is formed by Donald Street. The southern end of the eastern boundary has a park like character, with lawn and mature planting framing the vehicular entrance to the Site. The northern end of the eastern boundary is defined by the existing Karori Normal School buildings and a grassed and paved pedestrian entry court fronting Donald Street. The Allen Ward VC Hall on the eastern boundary of the Site provides one of the Site's most distinctive and recognisable landmarks



Figure 11: A view looking northwards along Donald Street.

Western boundary

The western boundary is formed by Campbell Street. The absence of buildings and vegetation along this boundary affords unobstructed views across the grassed playing field, deep into the Site.



Figure 12: A view looking north-eastwards along Campbell Street.

Structural Integrity of the Teachers' College Buildings

The following former Teachers' College buildings were identified to be demolished to enable the master planning and design of a functional retirement village: the Malcolm, Panckhurst, Theatre Block, Dance Studio, Mackie Gym, two prefabs, out buildings and the neighbouring Ako Pai Marae to the west of the Panckhurst.

An early design of the Proposed Village sought to retain the Waghorn, Gray, and Oldershaw Music Block. However, after specialist, in-depth engineering review, these buildings were deemed structurally unsafe to be repaired, retained, and reused for the proposed retirement village use. The buildings were therefore also demolished.

The former buildings are shown in pink on Figure 3 below.

The Proposed Village will retain the Tennant Block, Allen Ward VC Hall and the Oldershaw Octagonal building in recognition of their heritage significance (shown in white on Figure 3 below).



Figure 13 – Retained buildings (white) and demolished buildings (pink)

Heritage Significance of the Teachers' College Buildings

Adaptive reuse of the Allen Ward Hall, Tennant Block and Octagonal Oldershaw buildings (Building B01A)

The Allen Ward Hall provides context to Donald Street and displays several significant architectural elements as explained in DPA's report. The adaptive reuse of the Hall will require structural strengthening and built fabric refurbishment and re-establishment. This building will continue to provide a heritage interface to Donald Street to the east. The Hall will contain some

of the main Village Centre functions, including the dining room, servery, games room and library for the Proposed Village.

The Tennant Block provides context to Donald Street and displays several significant architectural elements as explained in DPA's report. This building will be retained and modified to provide independent apartments. The building fabric and structure will be upgraded. The new apartments within the Tennant Block have been designed around the structural elements and allow for the contour change between the neighbouring car park to the east and courtyard area to the west. A replacement link between the Allen Ward Hall and Tennant Block will replicate the existing architectural elements.

The Allen Ward Hall and Tennant Block architecture has influenced building design in the Proposed Village including façade proportions, composition of architectural panel elements, ratios and rhythms.

Function of the proposed buildings and their relationship with the Surrounding Context

Replacement Waghorn, Gray and Oldershaw Music Block buildings (Building B01A)

The former Waghorn, Gray and Oldershaw Music Block buildings have been demolished.

The new buildings have been designed to be sympathetic to the former architecture, utilising elements of form, exposed aggregate panels, concrete hoods and mullions, and window fenestration.

The new Waghorn and Gray buildings will be in the same location as the former buildings to retain the established urban structure which includes the existing courtyard area, known as 'the quad', to the north.

The replacement Gray Building will accommodate the remaining main Village Centre functions, supporting functions, and the main Village Centre entry. This building also has base insulation.

The replacement Waghorn Building will provide both independent apartments and Village Centre supporting functions. There will be an additional level at the top of this building (compared to the former building) which will be dark in colour to provide a recessive appearance. This building also has basement carparking and base insulation.

The replacement Oldershaw Music Block will accommodate independent apartments, a pool and a spa.

Proposed B01B Building

The removal of the Malcolm Block, Panckhurst, Theatre Block, Dance Studio and Mackie Gym buildings make way for proposed Building B01B. Architecturally, this building relies less on the architectural palette and elements of the former Teachers' College buildings (compared to the approach for the replacement buildings above) but is designed to be compatible with this established form. Building B01B has been designed to have its own architectural identity, which is complementary to both Building B01A, which has an architectural treatment that draws on heritage elements, and Buildings B02 – B07, which have an architectural treatment that is sensitive to their surrounding residential context.

Building B01B will accommodate care rooms, assisted living suites and independent apartments, along with associated support functions and basement carparking. The building layout and functional use has influenced the architecture of this building. Openings are uniform in both

location and size. The composition and application of materials reflect the use of exposed concrete in the form of sills and beams. Infill panels and screens provide interest and texture.

Buildings B01A and B01B are linked by two air bridges. The proposed air bridges follow the same design philosophy as the previous air bridges. The main function of the bridges is to link the independent apartments, assisted living suites and care rooms in Building B01B to the main Village Centre in Building B01A. The Lopdell Gardens that extend between the B01B & B01A will be retained and re-established to emphasise its role as an open space feature within the Site.

Proposed B02-B07 Apartments

Buildings B02-B07 will contain independent apartments and covered parking at ground level. The buildings are oriented on the flat south westerly part of the Site facing east/west. Building B02 aligns to Campbell Street with Buildings B03-B06 on a similar axis creating north facing courtyards and garden space. Both pedestrian and vehicle access is provided from Campbell Street with a single vehicle access located at the southern end of the Site frontage. Ground floor apartments have individual pedestrian connections to Campbell Street. The architectural language of Buildings B02-B07 takes on less of the influence from the Teachers' College buildings, and instead these buildings are broken into forms to relate to the residential streetscape in both scale and mass. The functional layout and placement of the living spaces combined with windows, doors and balconies inform the modulation, configuration, and rhythm of the facades and create a positive street interface.

The east and west facing apartment orientations maximise daylight into living spaces and respond well to prevailing winds providing shelter. Amenity spaces in the form of gardens are provided between apartments. The orientation of the buildings and the southern elevations of B02-B06 respond with short facades and considered window placement aligned to interface with neighbouring properties along the southern boundary and step back at the upper level to provide a reduction in scale and mass. The upper most levels take on a dark colour to provide a recessive appearance.

Building B07 aligning Donald Street has a similar architectural language to Buildings B02-B06 but makes reference to the framing and composition of the heritage facades of the adjacent Allen Ward VC Hall that also fronts Donald Street to the north. As Donald Street slopes down from north to south, Building B07 steps with reference to the topography change complementing the streetscape.

Daylight, Orientation and Massing

The orientation and arrangement of the independent apartment buildings on the Site have been considered to provide individual residential units access to east or west sun, and outlook to north-south landscaped courtyards both existing and new, which capture sun and aspect while providing shelter and protection from the wind.

The proposed buildings have been designed and orientated with short ends interfacing with neighbouring properties to the north and south. The buildings also have recessive stepped ends down to two levels at the residential boundaries. Windows facing the northern boundary in building B03 and the southern boundary in buildings B02 – B06 have high level windows to minimise overlooking views.

Significance of the Existing Vegetation

The existing Lopdell Gardens to the north of the Site and in between Buildings B01A and B01B will be retained as much as practicable during the construction process and enhanced with further planting. These gardens make a significant contribution to the character of the Site and form an important space between buildings (refer to the Heritage Report).

There is also an existing area of vegetation located in the south east corner of the Site. In this location, adjacent to the village entrance off Donald Street, the vegetation is to be retained and upgraded for public use in the form of a pocket park.

Impact of Overland Flow Path

The proposed finished floor levels for Buildings B02-B06 and the basement level for Building B01B have been significantly influenced by the civil design and required freeboard levels across the Site. Overland flow data resulted in a recommendation for the lowest building floor level in relation to a minimum base flood elevation (BFE). The landscaping along the southern boundary has been designed and co-ordinated with areas of reduced planting to allow water to pass in accordance with the overland flow data.

Refer to the Infrastructure Report prepared by Woods for details.

Design Philosophy

In summary, as shown in the drawings, the design philosophy of the Proposed Village considers:

1. The constraints and opportunities of the Outer Residential Zone objectives, policies and rules, given the Site context and the Proposed Village's functional, operational and structural upgrading requirements.
2. The relevant District Plan standards to minimise any actual and potential adverse environmental effects on the Karori residential environment generally, the adjoining streetscapes and immediate neighbours.
3. The heritage values of the former Teachers' College buildings bearing in mind their original institutional functional purposes, the complexities of structurally upgrading the buildings, the residential amenity requirements of comprehensive care retirement villages and the dimensions of the existing buildings structural grid and how this impacts the layout of proposed plan footprints.
4. The locations and floor plan footprints of the former Teachers' College buildings that have been deconstructed to inform the general site configuration and the location and shape of the taller Buildings B01A and B01B.
5. Locating the Building B01A components of the Village Centre on the north eastern part of the Site, facing Donald Street. This location provides the best opportunity to re-use and re-purpose the Teachers' College buildings and exterior spaces proposed to be retained and also provides a continued and familiar architectural character to Donald Street users.
6. The creation of a social heart to the Village with communal facilities clustered around the open-space courtyard.

7. The operational need to accommodate the care rooms, assisted living suites and communal amenities within the Village Centre (Buildings B01A and B01B).
8. The location of the Building B01B components of the Village Centre to the north of the centre of the Site, in the same location as the tallest Teachers' College buildings;
9. Opportunities to reduce the visual scale of the operationally and functionally necessary large footprint of the Village Centre (Buildings B01A and B01B) by creating a cohesive series of distinct building forms that are well modulated and articulated, joined together with bridges and recessed links, and by varying the palette of cladding materials and colours used on the building elevations.
10. Utilising the vacant areas of the Site to accommodate new independent living apartment Buildings B02 - B06 to the north of the Site's southern boundary and Building B07 fronting onto Donald Street.
11. A primary east-west and north-south vehicular movement axis opportunity within the Site, accessed from the existing entry point off Donald Street.
12. An accessible network of pedestrian pathways to provide easy access to the centrally located Village Centre (Building B01A and B02B).
13. The opportunity to create a series of well defined, interrelated and legible communal outdoor spaces that will act as social gathering areas that contribute to the Village character. These spaces, in concert with the various courtyards, the Donald Street 'Pocket Park', landscaping, road and pedestrian pathway components of the Site plan will enhance the orientation and way-finding within the Site for residents and visitors.
14. The configuration, location and orientation of the various separate B02 - B07 apartment layouts to reinforce the north-south orientation of the existing building fabric and exterior spaces already established on the Site, and to create narrow ends to the buildings near the southern boundary with the Scapa Terrace properties.
15. The opportunity to maximize the size and amenity of outdoor gardens and minimise the visual dominance of on grade parking areas by providing car parking in basements and undercrofts, and keeping vehicular circulation pathways to a practical minimum.
16. The establishment of a welcoming entrance axis into the village from Donald Street to the Village Centre entry, which connects into the north-facing, sunny and wind-protected former 'Quad' with its cafe terrace and bowling green.
17. A visually attractive and operationally efficient comprehensive care retirement village.

Design Iterations

During the design process, various iterations and refinements of site plan layouts and individual building designs have been produced from concept design through to developed design. The iterations through the design stages continued to develop a more refined and functional retirement village as information from specialist inputs were available, both internally and externally. There are several key design developments which are discussed in more detail below.

I. Earlier design iterations and developments

The proposed Site Master Plan considered, was informed by and developed based on the following:

- Iterations and refinements to the form and articulation of Building B01 is shown in figures 14 to 18 below. The B01 shape was pushed and pulled to create functional floor plan layouts while responding to the complex contours of the Site and creating meaningful spaces between buildings. After further heritage consultant inputs, the value of building siting and the spaces between buildings was explored and refined further with the larger Building B01 form being broken up into smaller forms with finer grained connections considered.



Figure 14. Initial block scheme with basements proposed under each of the apartment buildings



Figure 15. Investigation of a single B01 form shallower in a north south axis, relocating the quad to include a bowling green

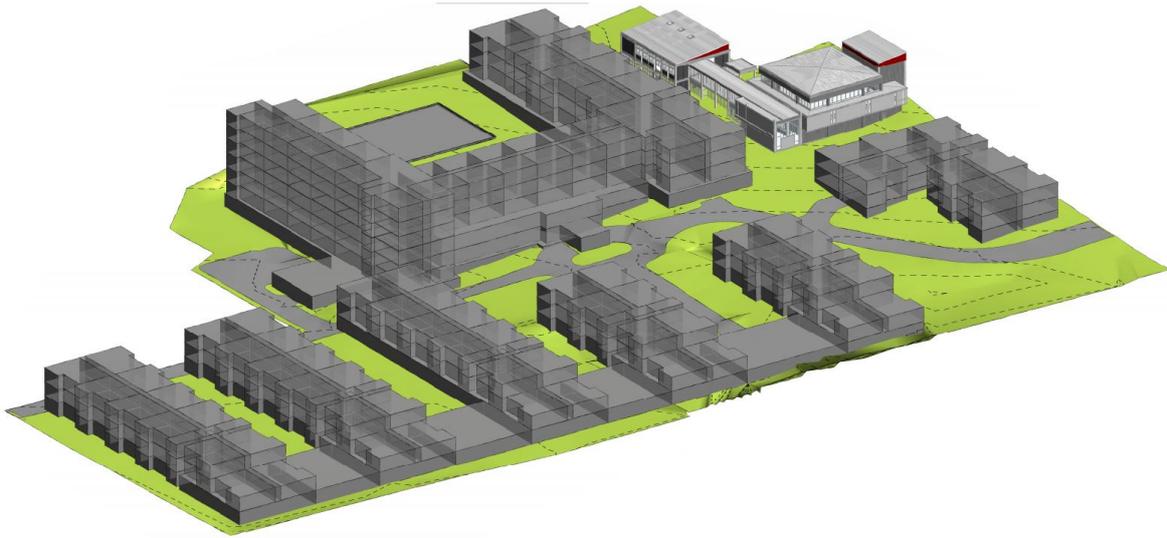


Figure 16. Investigation of a larger single B01 form longer in a north south axis which resulted in a changed independent apartment form to the south

- Carparking was explored including basement car parking under Village Centre Building B01, and beneath Buildings B02-B06, to test numbers, requirements and minimise ongrade parking and maximise landscaping areas. See figure 14 above.
- Undercroft car parking was then designed beneath B02-B06 to minimise earthworks.
- The layout was refined across the Site taking into account considerations of earthquake structural stability, existing landscaping, constructability, and resident safety. See figure 17 below.



Figure 17: Consolidated B01 form into similar former building locations respecting existing heritage zones between buildings of the quad and Lopdell Gardens.

- The architectural articulation and modulation of the Campbell Street elevation of Building B02 was explored to improve the built form response to the existing scale and residential character

of the street. Picture framing elements were refined to be more vertical forms wider, bolder, and more random to respond to residential grain, character and scale. Materiality was tested further.

- Generous landscaped open spaces around buildings were considered and refined testing the amount of built and unbuilt space, including the retention of as much of the Lopdell Gardens, except for those parts that must be removed for construction requirements. The existing gardens will be supplemented by new planting. Also a new publicly accessible 'pocket park' in the southeastern corner of Donald Street was developed.

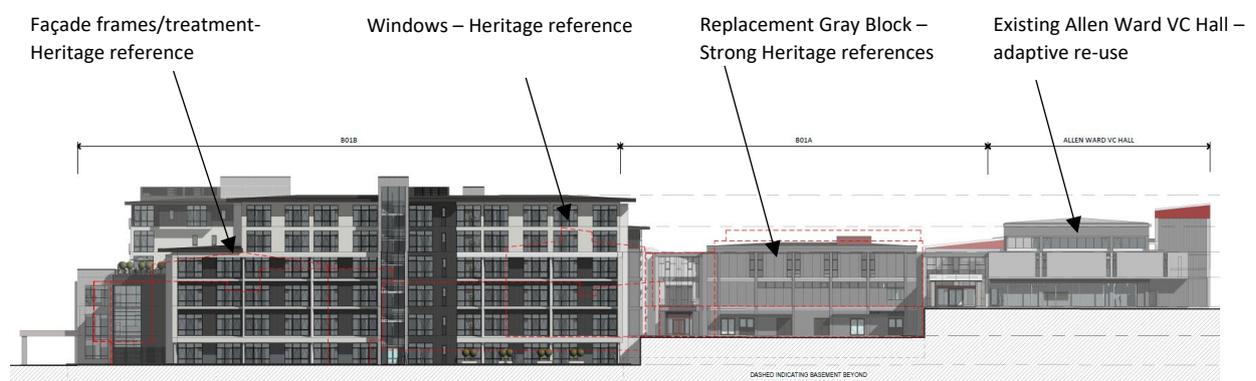
2. Design iterations and amendments to respond to Council feedback

As mentioned earlier, in response to feedback from the Council in 2021, parts of the Proposed Village design were further developed with numerous design options explored. The focus of the design amendments has been in relation to the facades of Building B01B, Building B02, Building B07 to create an improved contextual fit. To ensure internal cohesion between buildings, the facades of Buildings B03, B04, B05 and B06 have also been amended. There has also been further design refinement of the Donald Street pedestrian entrance. Table I in the Appendix explains these design changes.

These design changes are explained in more detail in the following sections.

Village Centre Building - B01B

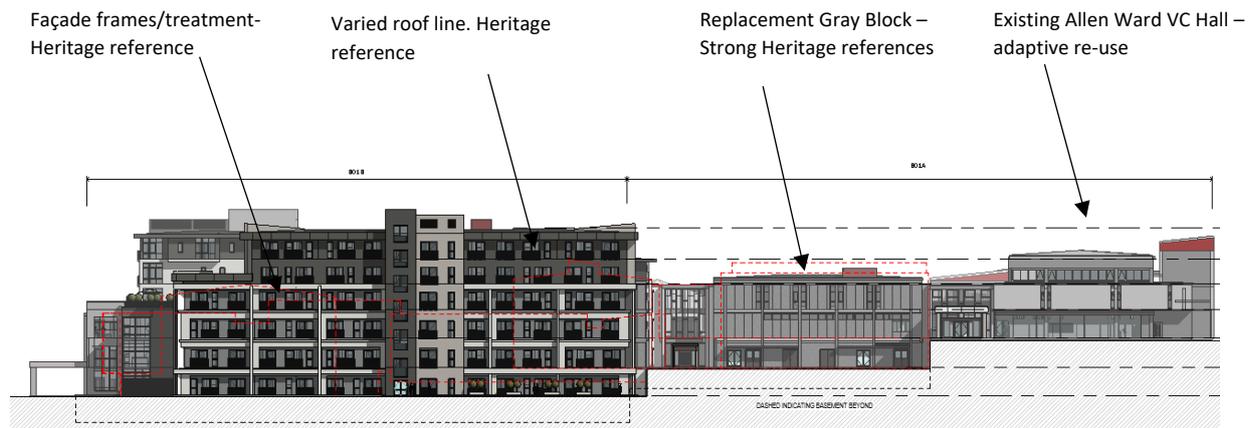
The previous proposed design



The above elevation illustrates the previous proposed south facing façade to part of Building B01B.

The architectural design response referenced elements of the former Panckhurst, Malcolm and Waghorn buildings. These buildings all reflected elements of the Brutalist architectural movement, consisting of exposed concrete façade elements, columns, beams, sunshades (or hoods), mullions and exposed aggregate panels.

The updated proposed design:



The updated proposed design of Building B01B has a similar design philosophy to the previous proposed design, with the differences being:

1. The fenestration and modulation of the openings across levels 1-6;
2. The façade treatment at levels 1-4;
3. The façade treatment at levels 5-6;
4. Roof composition;

The fenestration and modulation of the openings across levels 1-6. This change to the composition and size of the glazed openings, which are now 2.2m high, relates to the internal space function. Previously, larger more modular framed openings established the façade composition. The design approach focuses more on the relationship between the buildings and the immediate streetscape and surrounding context, instead of the heritage reference to the windows and modulation expressed by the former buildings.

The facade treatment at levels 1- 4. The horizontal elements have been refined further to reflect a modern interpretation of the exposed concrete beams and columns used in the former buildings. As opposed to a glass reinforced concrete or similar material, these horizontal elements will be clad in a render concrete affect or similar finish. Vertical and horizontal framing elements create interest and depth shading to the façade. These have been continued around the east and west facing elevations to tie the facade language together. Exposed precast concrete fins run vertically to create a sense of modulation and reference the original columns. Fixed screens and mock railings will provide a human scale and a material contrast. The façade will be broken-up by a central stair core running continuously to the roof to break up the horizontality of the building elevation. A reduction in glazing to the stair core and change in cladding material and colour will give longitudinal relief to the elevation. End treatment to the short elevations in the form of “mock” central service cores will run to the roof to give relief to fascia line and roof breaking the constant plane. A subtle 5deg. slope to the parapets will provide interest at roof level and contrast to the ridge line.

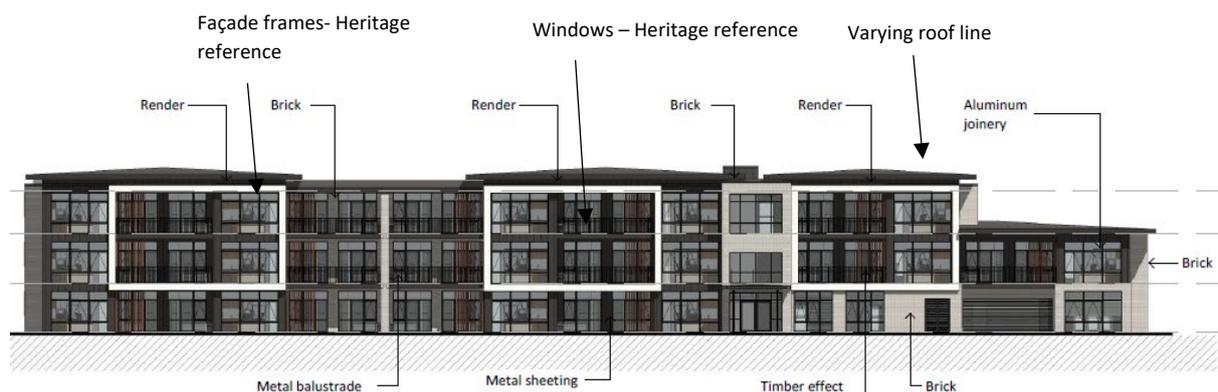
The façade treatment at levels 5-6. These levels were clad in a light-coloured material to give differentiation and contrast in the previous proposed design. In this design, a dark metal cladding gives a recessive appearance to the uppermost two levels. This dark cladding also

references the treatment of the cladding to the top level on Building B01A (replacement Waghorn Building). The central stair core with this change in adjacent material and colour will give variation to the façade, reducing the horizontal emphasis of the building. Mock railings will create material contrast and depth shading.

Roof Composition. In the previous proposed design, the building was capped with a low pitch membrane roof with slender continuous fascia. In this further refined design, a deep well - proportioned fascia, concealed gutter and low pitch flat roof provides a “hat” and re-defined roof line. The deep fascia and concealed gutter reference the perimeter and roof detail to the former Gray and Waghorn Blocks. The lower roof section to the south over levels 1-4 has been raised slightly to allow the façade treatment and modulation to continue around the corner. As mentioned above, mock service cores to the east and west elevations help break up the fascia line and the sloping parapets create variation in the roof line.

Apartment Building B02

The previous proposed design:



The above elevation illustrates the west facing façade of the previous proposed design of Building B02 aligning Campbell Street.

Building B02 is 3 levels at its highest, lowering to 2 levels at south elevation. The previous design intent borrowed heritage elements such as the Brutalist style window fenestrations and façade/frame modulation from the former Teachers’ College buildings.

The updated proposed design:



The updated proposed design relies less on an architectural reference to the former Teachers' College buildings and focuses more on the relationship between the building and the character of the immediate streetscape and surrounding context. While the materials remain mainly unchanged, the design form and mass take on a more of a residential scale.

The main design elements that contribute to Building B02's updated design are:

1. Revised Campbell Street (West) Elevation;
2. Revised North facing (short elevation);
3. Revised South facing (short elevation);
4. Revised Roof configuration;
5. Revised Boundary Fence & landscape treatment.

Revised Campbell Street (West) Elevation. A series of 6 façade framing elements differing in height project approx. 800mm proud of the main façade. These frames will create depth and relief in the elevation and fascia line and help break the building up into sections. In addition, the stepping down of the building at the northern and southern ends provides longitudinal variation. The southern elevation (short elevation) aligning to Scapa Terrace remains two levels. The northern elevation (short elevation) reduces from three to two levels. This reduction has been achieved by removing one two-bedroom apartment and redesigning the layout of an existing 3-bedroom apartment. This design change significantly reduces the HIRB breach to the northern boundary. A portion of the upper level facing the northern boundary and Campbell Street is clad in a dark colour to provide a recessive appearance and references the upper most levels of Buildings B01A and B01B. Between the 6 façade frame elements, a combination of materials, colours, and fenestration (railings) will provide contrast, depth, and a human scale to the Campbell Street interface. The roof line will be varied with subtle changes in parapet height, slope, and materiality.

Revised North facing elevation. In addition to the reduction in height noted above, at level one, the updated apartment layout steps the upper level away from the boundary creating a recess which provides the opportunity for 2 north facing balconies that lead from each of the bedrooms. This differs from the previous design where balconies primarily faced east and west only. The roof to the two-story northern element will be low pitch and concealed by a deep fascia and parapet. The fascia depth will be consistent with Building B01B and provides a "cap" to the building.

Revised South facing elevation. This elevation remains relatively unchanged from the previous design as there is no HIRB intrusion on this elevation. The refined deep fascia and concealed roof line gives the appearance of a separate element to the main façade.

Revised roof configuration. The previous roof design had parts of the roof supported on a small upstand and clad in metal at differing levels. In comparison, the updated roof design is more uniform and is consistent over the upper levels allowing the parapets and fascias to refine the roofline and composition.

Revised Boundary Fence & landscape Treatment.

In addition to the proposed pedestrian entrance from Campbell Street, 4 additional openings have been provided on this boundary. Each of these openings will provide secure gate access to a ground floor apartment and it is expected the future residents will use this as a secondary means of access to the apartments. The introduction of these gates will also provide a residential scale and relationship to the street. The landscape plan will provide planting to compliment the gate locations. The centrally located pedestrian access to the apartments, existing vehicle access and pedestrian path at the northern end of the building remain unchanged.

Apartment Building B03 – B06

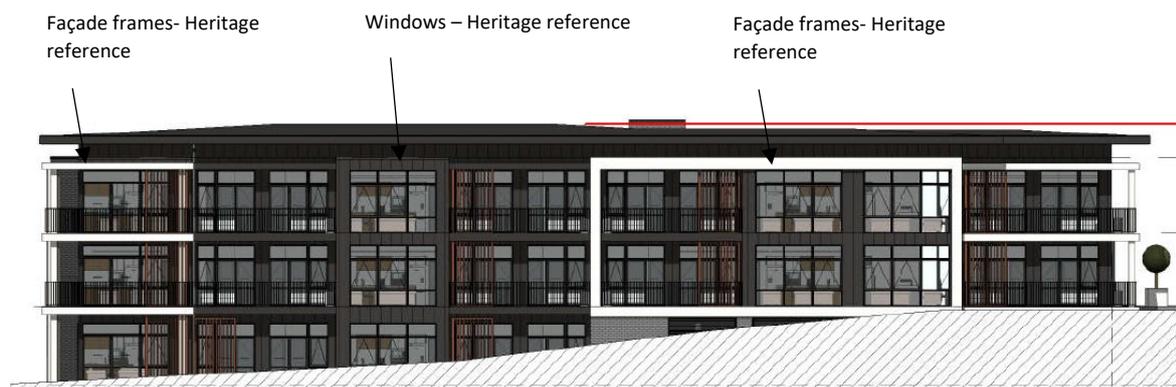
The updated proposed design for Building B03 – B06 complements the façade changes to Building B02 and focuses on the relationship and façade treatments between the buildings to maintain a consistent architecture. While the materials remain mainly unchanged, the design form and mass take on more of a residential rhythm and scale.

The main design elements discussed above that contribute to Building B03 – B06 updated designs are:

1. Revised West facing Elevation (long elevation);
2. Revised North facing (short elevation);
3. Revised East facing Elevation (long elevation);
4. Revised South facing (short elevation);
5. Revised Roof configuration;
6. Revised Boundary Fence & landscape treatment.

Apartment Building B07

The previous proposed design:



Primarily east facing, Building B07 aligns Donald Street. Building B07 consists of 3 levels of accommodation reducing to 2 levels at its northern end. Part of the lowest level (the basement) consists of resident carparking. The building has a centrally located pedestrian access at level one, the same level as the main Village Centre and an internal access from the basement carpark. The carpark is accessed via a ramped entrance just to the east of Building B01B. The original design intent follows that adopted for Building B02-B06. Heritage elements such as the Brutalist style window fenestration façade / frame modulation were referenced in the previous design of Building B07, as shown in the image above.

The new updated proposed design:



The updated design philosophy relies less on a reference to the Brutalist architecture style of the former Teachers' College and focuses more on the relationship between the buildings and the immediate streetscape and providing a transition between the Alan Ward VC Hall and the residential context. While the materials remain mainly unchanged, the design form and mass take on a residential scale.

The main design elements that contribute to Building B07's updated design are:

1. Revised Donald Street (East) Elevation
2. Revised South facing (short elevation)
3. Revised Roof configuration
4. Revised Boundary Fence and landscape treatment

Revised Donald Street (East) Elevation. A series of 4 façade framing elements differing in height project approx. 800mm proud of the main façade. These frames create depth and relief in the elevation and fascia line and give the appearance of stepping to follow the slope of Donald Street. 3 of the 4 façade elements are capped with parapet walls to provide a break in the roof line. The combination of façade frames and parapet walls provide variation to the street facing façade and give the building the appearance of individual buildings.

The southern end of the upper level is clad in a darker material to provide a recessive appearance as well as to reference the upper levels of Buildings B02, B01A and B01B. The balconies contrast in light and dark colours to give depth and shading as well as to give human scale to the streetscape. A deep fascia broken up by parapets creates a defined "cap" to the building as well as breaking up the roof line.

Revised South facing elevation. At levels two and three, corner balconies provide depth shading and a human scale as well as a subtle separation between material selections. A deep fascia conceals a low pitch roof and gutter.

Revised roof configuration. Unlike the previous roof design, where sections of the roof were supported on a small upstand clad in metal at differing levels, the updated proposed roof is at a uniform height but remains low pitch concealed behind parapets and fascias.

Revised Boundary Fence & land scape treatment. A revised landscaping plan provides updated planting to compliment the revised Donald Street facing elevation. The overriding philosophy is that the planting scheme will complement the stepped façade frames when the building is viewed from Donald Street.



Figure 19: showing the planting proposed in front of B07, stepping down Donald Street.

Pedestrian Entrance onto Donald Street

The design of the proposed entrance into the resident courtyard from Donald Street, has also been updated to be a more prominent entry point into the Village. This entry will be accessible by the residents, staff and visitors during the day and will be locked at night.



Figure 20: The proposed pedestrian access into the courtyard fronting Donald Street.



Figure 21: The former courtyard design with no pedestrian access.