

ORIENTAL PARADE DESIGN GUIDE

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1.0 Introduction

Intention

Oriental Parade is a visually prominent residential area with a unique character and strong identity. Creating the foreground of views to Oriental Bay, it is a distinctive element of Wellington’s urban image. The area is an established recreational destination and an integral part of the city’s public environment.

Council recognises the potential of Oriental Parade for future high density residential development. However, it is important to ensure that new development along Oriental Parade is of high design quality and enhances the area’s collective character, amenity value and public significance. The intent of this Design Guide is to ensure new development achieves these objectives.



Oriental Parade - a visually prominent area with strong identity

The Design Guide and the District Plan

In the District Plan Oriental Parade forms part of the Oriental Bay Height Area (refer to District Plan Map, Appendix 4, Residential Area). Under the District Plan rules, new building development and significant alterations and additions to existing buildings within the Oriental Bay Height Area are a Discretionary Activity (Restricted). Council’s discretion is restricted to the design, external appearance and siting of buildings. This Design Guide offers general guidance to those wishing to undertake new building development in the area and provides the standards or criteria against which discretionary elements will be assessed. In this sense, the Design Guide is an important reference for those seeking resource consent for new development in the area.

The Design Guide does not seek to impose rules on new development, or to prescribe specific design solutions. Rather, it offers a flexible framework within which designers and developers can work. Based on the existing character of Oriental Parade, this framework identifies key urban design principles to assist the integration of new development into the context and enhance the character of Oriental Parade. This means that while development proposals are expected to demonstrate a commitment to enhancing the collective character and quality of the area, there is considerable flexibility in terms of detailed design.

No precise formula exists for ensuring skilful and innovative design of buildings. The Design Guide should not be seen as a requirement to replicate established patterns or particular design types and architectural styles along Oriental Parade. Instead, it outlines clear urban design principles that new developments are expected to consider and interpret.

The illustrations in the guide are intended to further clarify principles outlined in the text, and are not intended to represent actual design solutions.



Oriental Bay Height Area

Design Guide Approach

The Design Guide is based on the premise that the collective form of the city is more important than its individual components. This means that any new development along Oriental Parade should not only have its own architectural integrity, but should also demonstrate a considered relationship to the immediate street context and recognise its place within the wider Oriental Bay area.

The first part of this Design Guide describes existing features and patterns that define the character of Oriental Parade and the wider Oriental Bay area. This is followed by design objectives and guidelines which address key design matters, including relationship to context, building relationship to the street, building bulk, form and scale, architectural composition and visual complexity.

The last section of this Design Guide, relating to apartment development, does not constitute part of the District Plan. The objectives and guidelines included in this section are advisory and aim to promote and enhance the residential quality and amenity of apartment buildings.



The collective form is more important than its individual components

2.0 Existing Character

Oriental Bay as a Whole

Visual Prominence and Landmark Significance

Set in a prominent natural setting along the water's edge Oriental Bay is an area with a landmark significance and townscape value. Its expressive landform and distinctive building character, enhanced by the presence of St Gerard's Monastery, provide important visual references within the city.

Public or Private Environment?

Oriental Bay has a public as well as a private dimension. Oriental Bay is a highly valued residential area with strong amenity value. At the same time it is also a popular recreational destination. The public promenade along Oriental Parade and associated Oriental Bay foreshore support a wide variety of activities attracting residents and visitors alike. The promenade is a unique extension of the Wellington waterfront. It is part of the route around the bays from the airport to the city and an element of a larger recreational network with connections to the Town Belt. Oriental Bay's public character is extended and reinforced by its position in this important network of connections.

Sense of Place

The unusual contrast between the linear built-up edge of Oriental Parade and the picturesque layout of the hillside houses, together with the historic value of St Gerard's Monastery and its setting, give the area a memorable image and a strong sense of place, contributing to the city's collective identity.

Diversity

The Oriental Bay hillside houses are mostly older dwellings with common characteristics and a general consistency of form and scale, while Oriental Parade itself has a variable building character. It is a mixture of new and old, tall and low buildings in a variety of building types and architectural styles. This accounts for the visual diversity of the area, which is further accentuated by the varying topography and the curved outline of the street.

Oriental Parade

General Characteristics

- Oriental Parade is not a typical residential suburb. The linear form and built-up urban character of Oriental Parade, its water's edge location and closeness to the central city, make the area a unique residential location.
- Oriental Parade has two distinctive parts determined by the character of the landform - the part below and west of St Gerard's Monastery (sometimes referred to as Clyde Quay) and Oriental Bay proper, to the east.



Visually prominent setting with a strong sense of place



Oriental Parade promenade a linear extension of the waterfront



Oriental Bay - diversity of building types, scales and architectural styles

- The Clyde Quay area is characterised by a steeper topography and a gently curving layout. St Gerard's Monastery, together with the surrounding Mt Victoria dwellings and the greenery of the escarpment (often referred to as the "green ribbon"), are landmark elements that make this area a particularly sensitive environment. Public views of St Gerard's Monastery and its setting are of special importance.
- Oriental Bay proper, the area east of St Gerard's Monastery, forms part of a natural amphitheatre. Compared to the Clyde Quay area, Oriental Bay proper has a more gentle topography and contains a higher concentration of multi-storey apartment buildings.

Existing Development Patterns

Structure

- Oriental Parade has a linear form, constrained by the adjacent hills and a general lack of flat land. The structure of the area is characterised by long narrow blocks and a limited number of cross streets.

Activity and Land Use Patterns

- The character of Oriental Parade, along its land-ward side, is primarily residential. Non-residential activities along the land-ward side of Oriental Parade are limited in number and include several eating places, a dairy and a few shop/office type activities, located primarily within the ground levels of existing buildings.
- Along the sea-ward side there are a number of non-residential buildings such as The Band Rotunda, Freyberg Pool, and the Royal Port Nicholson Yacht Club (RPNYC), which together with the Oriental Bay foreshore and the Clyde Quay Marina support the recreational character of the promenade.

Building Character (building age, type and scale)

- The area has a distinctly urban character with an increasing intensity of development and a significant number of multi-storey apartment blocks.
- Oriental Parade has a diverse character based on a mixture of older and newer buildings with often contrasting height (varying between 2 and 12 storeys) and variable size, age, type and architectural style. These range from old villas and art-deco apartment buildings to contemporary tall apartment developments. The two storey villa and the apartment block are recurring building types.



Ground level activities that support the public use of the area



Mix of old and new, tall and low buildings



188-200 Oriental Parade - a notable collection of listed heritage buildings with consistent age, form and scale

- Half of the buildings along Oriental Parade were built prior to 1920, with most of the remaining buildings constructed in the 60's, 70's and 80's. A number of more recent apartment buildings were built in the period 1990-2003 - a trend that is continuing.

Heritage

- A number of buildings on Oriental Parade listed as heritage items in the District Plan. There are two clusters of listed heritage buildings along Oriental Parade. The Charlesworth Houses below Oriental Terrace, and the group from 294-306 Oriental Parade. The Charlesworth Houses in particular are notable for their consistent age, type, design and scale.



294 Oriental Parade - listed heritage building

Building Form

- Hipped and gabled roof forms are typical for the older dwellings, while flat roofs are characteristic for apartment buildings.
- Most apartment blocks have a simple rectangular form and are built to the street edge.
- Building depth varies between 12m and 25m and is typically limited to the flat area within each lot.
- Despite the diverse building character there are some common design features throughout the area such as vertical window proportions, projecting bays and balconies, façade relief and detail.



Multi-storey apartment blocks - a recurring building type

Building Relationship to the Street

- Oriental Parade has a street edge strongly defined by buildings, garages or low fences. Most buildings are built up to the street boundary. Where buildings are setback, their front yards are minimal, typically between 1m and 2m.
- Most buildings are aligned with the street and with each other and face the street with their narrow side.
- Oriental Parade buildings present a positive “public face” to the street. Balconies, bay windows and pedestrian entrances are common features of existing building frontages.
- Buildings along Oriental Parade have small separation distances typically between 1m and 2m.
- The majority of the buildings have on-site garages. Most of the garages are integrated into the building.



A strongly defined street edge



Predominance of light exterior colours, variety of external materials

Materials

- Buildings along Oriental Parade use a variety of external materials ranging from weatherboard cladding and corrugated iron to concrete, plaster finish and roof tiles. Despite the variety of cladding materials, the area as a whole is characterised by predominantly light exterior colours.

Recent Development - Key Issues

- Multi-storey apartment buildings represent the most typical and important change along Oriental Parade. Recent development most often occurs on amalgamated sites in the form of apartment blocks. Site amalgamation occurs both between neighbouring sites along the street, as well as between Oriental Parade sites and adjacent sites on the hillside.
- The building bulk, form and scale of new development are primary urban design concerns, particularly for developments on amalgamated sites. Site amalgamation allows building dimensions that are much larger than those of neighbouring buildings. As a result, the bulk of new development can be visually dominating. It can affect the residential amenity of adjacent buildings and require significant excavations.
- Many recent developments on amalgamated sites have street frontages much wider than those typical for the area. The design of their street facades is often characterised by strong horizontal banding and strip glazing, while the side elevations are largely treated as blank walls. This compromises the scale relationship between old and new buildings and affects the overall quality and cohesiveness of the streetscape.
- The ground level of recent buildings is usually devoted to carparking. As a result, ground level street facades often have a utilitarian character and make little contribution to the pedestrian nature of the area and its streetscape quality.



Recent development often occurs on amalgamated sites

3.0 Street Context

Analysis

Relationship to context - There is an important and fundamental relationship between the overall quality of a street and the buildings along its edges. The quality and character of a street is heavily influenced by the collective relationship between the buildings at street level, where they are seen in close physical association with each other. Relating new buildings to their context is a central design issue. Consideration of context is based on three premises:

- That any building is part of a larger setting
- That one setting is different from another



Any building is part of a larger setting

- That the design of buildings should acknowledge both aspects.

This means that new development should not occur in isolation but should demonstrate a considered relationship to both the immediate street context and the character of the wider Oriental Bay area.

Ensuring a building relates to its context does not require designers to use any particular building type or style. Oriental Parade has a diverse building character with no pronounced consistency of building form, type or architectural style. New buildings should create their own identity and enhance the diverse urban character of the area. However, the design of new buildings should demonstrate a clear understanding and recognition of the underlying characteristics of the context.

Relationship to heritage buildings - A number of buildings along Oriental Parade are listed heritage items. New development adjacent to such buildings should be compatible with and enhance their heritage character and setting.

Any additions and alterations to listed heritage items have the potential to undermine their historic heritage values. Rooftop additions, in particular, can compromise the character and heritage significance of existing heritage buildings. To ensure that heritage values are maintained a conservation approach should be adopted to any development associated with a listed heritage building or item.

Relationship to the street (building location and street frontages) - Buildings along Oriental Parade provide the foreground of views to Oriental Bay obtained from various locations within the city. The form, scale and quality of these buildings, and the particular way the building frontages address the street, has a direct impact on the public quality of the area.

Existing buildings along Oriental Parade provide a strong street edge definition. Their front facades relate positively to the street. Balconies, bay windows and entrances facing the street are common design features. Some buildings accommodate non-residential ground level activities that support the public use of the area. New development should recognise and continue these patterns. Ground levels of new buildings used for carparking require special design attention.



Relationship to heritage buildings - an important design consideration

Objectives

Relationship to context

- O1** Ensure that new buildings recognise their context, relate to the character of their surroundings and contribute to a cohesive streetscape.

Relationship to heritage buildings

- O2** Ensure that new development respects and strengthens the setting of recognised groups of heritage buildings or individually listed items.



Building elevations that relate to their context and enhance the streetscape quality

- O3** Promote development that integrates, maintains and enhances listed heritage buildings and items. Ensure that additions and alterations to listed heritage buildings are compatible with their heritage values and character.

Relationship to the street (building location and street frontages)

- O4** Recognise that in townscape terms Oriental Parade is a unique high density residential environment with an urban character, strong recreational dimension and public significance.
- O5** Ensure that new development continues and reinforces the existing street edge definition along Oriental Parade.
- O6** Create buildings of appropriate form and scale, with street elevations that enhance the public character of the area. Consider, where possible, ground level activities that support the public use of the area.

Guidelines

Relationship to context

- G1** New or refurbished buildings should provide visual links to adjacent building frontages and complement established features of the Oriental Parade street frontage, such as:

- consistent building proportions - e.g. predominance of vertically proportioned buildings and façade elements.
- common architectural materials, elements and details - e.g. expressive façade relief and detail, projecting features such as bay windows and balconies, separate window openings with vertical proportions, use of predominantly light exterior colours.
- uniform building dimensions - e.g. predominance of narrow building frontages, general consistency of building depth.

- G2** New development or building refurbishment should recognise and reflect rather than reproduce the appearance of existing street frontages.

- G3** Where there is little, or no established building pattern, buildings should introduce sound design precedents for future street frontages.



Visual links to adjacent frontages



Vertical building proportions, projecting bays and façade detail typical streetscape features

Relationship to existing heritage settings

- G4** Where opportunity exists, new development should attempt to complete, improve and enhance the heritage setting of individual buildings or groups of buildings listed as heritage items in the District Plan.

- G5** Where it is located within a group of or immediately adjacent to recognised heritage buildings, new development should pay special attention to compatibility with the defining features of those buildings, which might include the following:
 - building height, bulk and placement
 - frontage module
 - floor-to-floor height
 - materials
 - roof and cornice lines
 - window size and proportions
 - type of architectural detail
 - entrances
 - landscape elements
 - decoration
 - colour
 - any other special features

- G6** Additions and alterations to listed heritage buildings should be compatible with the scale, form and character of the building and its heritage values.

Building location

- G7** New buildings should generally be built to the existing street line to reinforce the existing street edge definition. In some instances, parts of a building might be setback from the street edge to strengthen the relationship with adjacent buildings, and/or to achieve a more expressive façade articulation.

- G8** The shape of new buildings should strongly emphasise alignment with both the street and adjacent buildings. Development with stepped/cascading form is not typical for the area and should be avoided.

- G9** New buildings can be built to the side boundaries. However, their form and façade articulation (especially for developments on amalgamated sites) should make a visual reference to established side yard patterns. For taller multi-storey developments, a shallow setback from the side boundaries (introduced at a certain height level) might be appropriate to assist the relationship with adjacent buildings.



Continuous street edge definition



“Stepped” building form is not typical of the area

G10 Buildings located at bends and street corners should:

- employ shape and surface treatment to emphasise the curved or angular shape of the street bend or corner.
- continue to contribute to the general continuity of massing and street frontage alignments of neighbouring buildings.

Street frontages

G11 New buildings should present a positive frontage to Oriental Parade. New building frontages should be visually interesting and integrate human scale elements to enhance the pedestrian character of the area.

G12 Carparking at ground level of new buildings should not dominate the street frontage. Ground level street facades should present a positive public face to the street, integrate design detail and place emphasis on the pedestrian entrance to the building.



Ground levels with a positive public face

4.0 Building Design

Analysis

Overall building composition - the visual qualities of a building should be considered in whole as well as in part. A new building should not be simply a piecemeal assemblage of elements stipulated in this Design Guide. It should have its own inherent design integrity and coherence and establish its own positive identity. This should be based on a clear and complete architectural concept.

Scale - “Scale” describes the relative size of buildings and their constituent parts. “Scale” refers to a dimensional comparison. It only has meaning when both the subject and the object of comparison are explicit. There are four common means of comparison referred to in this Design Guide:

- A building’s dimensions are compared with human stature. If a building contains features, which are comparable in size with the human figure, the former may be said to have “human scale”.
- A building’s apparent size is compared with its actual size. In this sense of the word, a building “has scale” when its true size is obvious to an observer. Alternatively, buildings are referred to as “scaleless” where it is difficult to assign a correct dimension to them.



Clear and complete architectural concept



Buildings “in scale”

- The dimensions of one building (or its components) are compared with those of another. In this sense, a building is “in scale” when a dimensional correlation exists between two or more neighbours.
- Dimensional comparison is made between one part of a building and another, or between a single architectural component and the overall dimensions of the structure.

The diverse character of Oriental Parade and the variable District Plan height limits for the area raise potential scale issues, especially where new large development occurs next to existing smaller buildings. It is important to ensure that new buildings establish a positive scale relationship with existing buildings and with pedestrians in the street.

Visual complexity - visual complexity refers to the use of form and surface to provoke and sustain visual interest. Visual complexity is derived from the detailed design and three-dimensional façade articulation of the building’s exterior.

The detailed treatment of street elevations is important as it adds visual interest and enhances the quality of the street. This is particularly relevant to the pedestrian nature and public character of Oriental Parade. The diversity of building types and architectural styles, the presence of heritage buildings and the nature of activities along the public promenade contribute to a visually stimulating environment. New development should reinforce and enhance these qualities.



Diversity and visual complexity

Side and back elevations - the height differences between adjacent buildings along Oriental Parade make their side elevations or parts of them visible from the street. Beyond the range of the street, buildings or parts of them can be seen in relation to each other from the interiors of other buildings or from neighbouring public spaces. The expressive topography of the wider Oriental Bay area provides multiple opportunities for viewing the backs, sides and tops of the Oriental Parade buildings. In this sense all building elevations that can be seen from public spaces or have a direct visual relationship to the street or adjacent buildings, deserve careful design treatment. The design of building tops is addressed under a separate heading (refer section 5.0)



Side elevations visible from the street

Objectives

Overall building composition

- O1** Ensure that the design of new buildings is derived from an overall compositional idea, based on design integrity and coherence.

Scale

- O2** Ensure that new development is in scale with its surroundings, provides a clear indication of its overall size and dimensions and responds to the pedestrian character of the area.

Visual complexity

O3 Ensure that new buildings, and particularly the design of their street elevations, provide visual interest that enhances the visual quality and experience of Oriental Bay.

Side and back elevations

O4 Ensure that the design of all building elevations that can be seen from public spaces or have a direct visual relationship to the street or adjacent buildings enhances the streetscape quality and visual amenity of the area.

Guidelines

Overall building composition

G1 The design of new buildings should derive from a coherent overall compositional idea. The development of this idea should reflect the relevant criteria set out in this Design Guide.

Scale

G2 It is important that a new building’s dimensions:

- establish a clear relationship to human size by integration of features and elements that are comparable with the size of the human figure.
- assist an observer’s understanding of the overall size and dimensions of the building. Familiar modules such as floor-to-floor heights and window openings are particularly useful indicators of scale, as their conventional dimensions are well understood.
- relate to important measurements within adjacent frontages, with reference to the overall dimensions of adjacent buildings or to the dimensions of individual modules or elements.

G3 A building’s external appearance should not be composed entirely of very large visual elements (such as the uninterrupted surfaces of curtain walls); nor should it be comprised solely of small elements (such as person-sized windows).

Legible building dimensions and “human scale” depend on a hierarchy of nested modules in which smaller elements are grouped, or otherwise composed, to form larger visual entities. In this way, the smallest elements (typically those providing “human scale”) “measure” the larger ones. In turn, these bigger units “project” intimate or human scale across the surface of still larger components of the building until the entire envelope has been dimensioned.



Design coherence and visual complexity



Floor to floor height and window openings useful indicators of scale

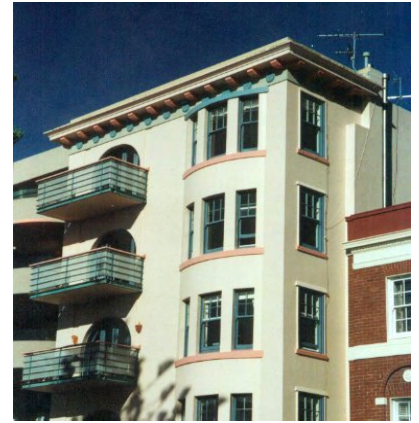


New development “in scale” with its neighbours

Visual complexity

G4 Building facades of new development should provide visual interest and a sense of complexity. This could be achieved in a number of ways including:

- three-dimensional articulation of the building frontage to create contrast between foreground and background elements,
- techniques such as the layering of architectural elements; use of contrasting surface finishes, colours or patterns, or by
- emphasising part of the overall composition of a building's frontage.



Three-dimensional articulation of building frontages

Side and back elevations

G5 Featureless side and back walls to visually prominent buildings, especially their upper elevations, should be avoided. Creating visual interest is a key objective. It might be achieved through façade articulation and the use of architectural elements and detail and/or working with colour, materials, and texture. Large blank surfaces should not be visible from:

- Oriental Parade and the public promenade
- surrounding public spaces
- the residential neighbourhoods that overlook Oriental Parade buildings.

Materials

G6 Limit or avoid the use of highly reflective cladding materials to new building development where this could create glare conditions in neighbouring streets and public spaces.

G7 Avoid the use of dark heat absorbing glass on building frontages. External awnings and sun screens could be considered as an alternative.



Façade features and detail on side elevations

5.0 Building Tops

Analysis

The tops of Oriental Parade buildings (because of the area’s location and topography) play a significant part in shaping the collective silhouette of the city. Building tops feature prominently in both near and distant views of the area and can be viewed from various public and private spaces within and around the area.

The tops of Oriental Parade buildings form the foreground to views of the wider Oriental Bay area. The design of building tops, especially when they project directly against the greenery of the hills, as those below St Gerard’s Monastery, are particularly important.

The design of the tops of taller buildings needs particular consideration to ensure they contribute to a strong and distinctive silhouette line. This involves more than just a roof treatment at or above the top floor of these buildings.

For these reasons, the upper-most levels of new developments are subject to specific design guidance. While the composition and appearance of building tops may vary, three important design issues should always be addressed through the following objective and guidelines:



Building tops that project directly against the greenery of the escarpment - a particular concern

Objective

- O1** Ensure that the design of new building tops
- adds interest to the collective silhouette of the area
 - reflects its diverse character
 - enhances the visual amenity of the area when viewed from elevated positions.

Guidelines

G1 The top of a building should always be designed as an explicit part of its overall architectural form and composition.

Lift machine rooms/over-runs associated with multi-storey development should not be visually obtrusive. They should be integrated as part of the building top.

G2 The top of a building should contribute to an intricate and interesting silhouette. The top of new buildings should establish a positive visual relationship with the character of the surrounding buildings.



Building top - an integral part of the overall architectural composition

G3 Building tops of large new development on amalgamated sites should be carefully modelled to mitigate the effect of a long horizontal unbroken roof line. This can be achieved by breaking down the building top into smaller elements differentiated by height variation, physical breaks, setback/recesses and architectural features (see also Building Bulk Guidelines)

G4 Emphasis should be placed on the design and appearance of building tops (with reference to form, materials and detail) where they are viewed from ground level or from neighbouring spaces or buildings, and/or from locations with an elevated position.

The design of rooftop features for buildings that project against the green backdrop of the escarpment below St Gerard’s Monastery is of special concern.



Distinctive building top adding interest to the silhouette line

6.0 Building Bulk

Analysis

Buildings of great size, or “bulk”, can easily overwhelm their immediate surroundings. Bulk is an important indication of relative size. It is a function of both the vertical and horizontal dimensions of a building and refers to the size of a building relative to its surroundings. A building may be bulky whether or not it is of great height. The visual impact of bulk is influenced by building shape and siting, as well as size.

Oriental Parade provides opportunities for high density residential development, which often occurs on amalgamated sites. Site amalgamation facilitates building dimensions that are larger than those of their immediate neighbours. As a result, the building bulk of new development can be visually dominating, especially where the combination of the height, length and/or width of the proposed building is significantly greater than that of its built surroundings. It is important to ensure that large new buildings do not overwhelm the built scale of their surroundings. The articulation of the building’s form and surface treatment, as well as the building’s overall dimensions, are issues of particular concern.



Issues of bulk most often occur in developments on amalgamated sites

Objectives

O1 Ensure that large new development, and especially that on amalgamated sites, does not dominate the built scale of its surroundings and does not compromise the integrity of the streetscape.

- O2** Carefully consider the articulation of the building’s form and surface treatment, as well as the building’s overall dimensions.
- O3** Ensure that large building footprints reflect existing patterns of footprint dimensions and do not require significant excavations. Carefully manage the visual impact of earthworks and retaining walls where these are visible from surroundings buildings and public spaces.



Articulation of building form

Guidelines

Where the length, width and/or height of a new development conflicts with the physical scale and texture of its surroundings, the following design techniques may be employed to modify the visual impact of building bulk.

Sub-division of frontages

- G1** Sub-divide the frontages of large new buildings into distinguishable modules with reference to the prevailing visual “sub-division” patterns of neighbouring building frontages. These patterns should influence the positioning of architectural elements.

The sub-division of building frontages can effectively be enhanced by varying the height and/or width of the individual modules and their rooftop treatment, and/or by varying the design detail and surface treatment.



Sub-division of building frontages

Articulation of building form

- G2** Articulate the overall form of a building as a collection of sub-volumes. The dimensions of the sub-volumes should relate to dimensions of adjacent building elements.

Where a large new building adjoins buildings of a smaller scale the following design techniques can be used to modify its bulk:

- introduce transitional volumes between the smaller existing buildings and the larger, primary volume of new development
- introduce a smaller foreground volume to help obscure the primary building volume when viewed from surrounding public spaces.



Transitional building volume

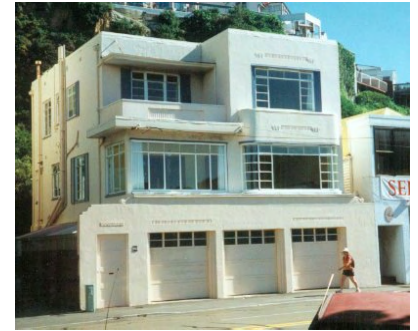
Contrast

G3 Create contrast between projecting and recessive elements on building elevations to reduce the visual impact of bulk. This may be achieved by:

- using contrasting surface finishes, colours or patterns
- including discrete architectural elements
- emphasising a part of the overall composition of a building's form or surfaces.

Examples of these might involve the use of patterned concrete surfaces set against sheet metal finishes; the use of bays or recessed windows; porches or balconies; the use of projecting surfaces or ledges; or any other surface-modifying device which affects the overall composition of a building.

These elements should create strong shadow lines and be designed to interrupt the overall size and shape of the building envelope. An observer's eye should be drawn to the separate parts of a building, not just to the building as a whole.



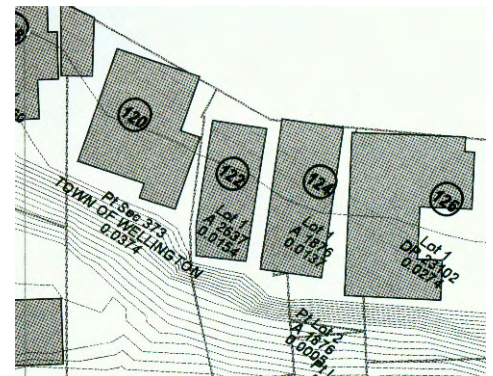
Contrast between projecting and recessive façade elements

Building footprints

G4 Building footprints of large new development should recognise the predominant pattern of building depth, which is typically limited to the flat area of each site. This is to reduce both the amount of earthworks and the visual perception of bulk.

G5 Large retaining walls at the rear of development sites that are visible from surrounding buildings and public spaces should be avoided. Where retaining walls are considered

- their height should be lower than the heights of adjacent buildings and should reflect any apparent height differences between neighbouring buildings. This is especially important for sites that mark a change in building height provisions.
- they should be given an appropriate landscape treatment.



The depth of building footprints is typically limited to the flat area of each site

7.0 Apartment Development

The section of the Design Guide does not constitute part of the District Plan. The objectives and guidelines included in this section are advisory and aim to promote and enhance the residential quality and amenity of apartment buildings.

Analysis

Oriental Parade is a prime residential location where apartment development is anticipated. However, the desire to maximise the development potential of each development site can result in:

- buildings with a stud height which is lower than that typical for the area. This can appear in combination with horizontal banding and strip glazing to maximise views.
- building footprints that are much deeper than those of surrounding buildings. Deeper buildings, especially within those parts of Oriental Parade backing onto the steeper portions of the escarpment, require significant excavation and retaining walls.
- buildings built to the side boundaries with a limited number of or no openings or other façade features on their side elevations.

This can affect the interior space quality of individual residential units and the quality of natural lighting, especially within the rear parts of new buildings. It can also affect the scale, proportions and design treatment of the building exterior and compromise streetscape quality.

Multi-storey apartment blocks are an appropriate building type for Oriental Parade. However, the apartment block, as a particular type of multi-unit development, can raise specific design issues and residential amenity concerns, apart from streetscape issues. These relate to privacy, quality of natural lighting and private open space. Integration into the landform, landscaping and vehicle access are also important. To ensure these concerns are adequately addressed the following objectives and guidelines apply.

Objectives

Internal planning

- O1** Ensure that new development is of high residential quality and respects the residential amenity of neighbouring buildings.
- O2** Ensure that new development gets the best out of the features of the site, including sun exposure and outlook.

Private open space

- O3** Ensure that new development recognises the need for private open space in apartment buildings. Ensure that the position, type and dimensions of private open spaces are considered as an integral part of the internal planning, enhance the street frontage of the building and provide each unit with a usable outdoor area.



Apartment blocks - an appropriate building type for Oriental Parade



Buildings that optimise sun exposure and outlook

Privacy

- O4** To design buildings to meet projected user requirements for visual and acoustic privacy.
- O5** To protect the visual privacy of adjacent buildings and private open spaces.
- O6** To restrict close-range outlook from one residential unit into the interior of another.

Landscaping

- O7** To complement the existing visual character of the area and enhance its public quality.

Carparking and access

- O8** To minimise any detrimental effects of vehicle access and accommodation on the visual quality of the streetscape and neighbourhood environment.
- O9** Provide safe and convenient pedestrian and vehicle access to new apartment development.



Character tree - integral part of the development site

Guidelines

Internal planning

- G1** Living areas and associated private open space of individual residential units should be designed to optimise sun exposure, natural lighting and views. All habitable rooms should be designed to receive natural lighting.
- G2** Avoid unreasonable shading of private open spaces or windows to main rooms in adjacent units within the development, as well as in residential buildings on adjacent sites. Regarding the latter, partial setbacks from side and/or front boundaries might be appropriate. This can also help to address potential privacy issues between adjacent buildings.
- G3** Stud height of new apartment development should reflect both contemporary design standards and established stud height patterns of adjacent buildings. Large open plan interior spaces might require an increased stud height.



Setback from front and side boundaries can address issues of privacy and outlook

Private open space

G4 Residential units should be provided with usable private outdoor space. In apartment developments private open space is most likely to be in the form of a balcony. While the particular type, dimensions and appearance of private open spaces may vary, depending on the internal layout and residents' needs, three important issues should always be addressed:

- private open space should be directly accessible from the main living area
- private open space should be of size and dimensions that allows it to become a usable outdoor area.

An area of 10m² with a minimum width of 2m should be taken as a basic reference. Alternatively, the outdoor space might of square proportions - e.g. 2.5m x 2.5m.

- the scale and proportions of balconies and balcony encroachments over the public footpath should relate to the scale and proportions of both the building façade and adjacent building frontages.



Balconies on front elevations provide private open space and enhance the “public face” of buildings

Privacy

G5 Protect the private open spaces of individual residential units from being directly overlooked through careful positioning and planning, distance separation, screening devices or landscaping.

G6 Plan private open spaces and position upper level windows so that:

- they do not have a significant short-range outlook into private outdoor space of adjacent buildings.
- there is no direct overlooking between the main living areas.

This can be achieved by screening or otherwise restricting direct views from new development into the main private open spaces and living areas of neighbouring buildings.

Landscaping

G7 Retain significant existing trees and vegetation where practicable and where these can be usefully integrated into the residential development, particularly when they are recognised by the local community as having a significance beyond the site.

- G8** Any landscape work along the street edge of new development should make a positive contribution to the pedestrian quality of the street and take into account any public projects for improving the area.

Carparking and access

- G9** Refer to the relevant District Plan rules and associated standards for the number of on-site carparking spaces required and associated vehicle parking and site access requirements. For the technical requirements relating to the length, width, gradient, and other geometrical and constructional features of driveways and parking spaces, refer to the Code of Practice for Land Development.
- G10** Position vehicle entries to carparking areas in a way that does not compromise pedestrian safety.
- G11** Mitigate the utilitarian look of ground levels devoted to carparking by introducing façade features and detail and placing design emphasis on the pedestrian entrance to the building.



Ground level facade features and detail